



**Planning Commission  
Regular Meeting  
May 15, 2018  
7:00p.m.**

1. CALL MEETING TO ORDER

2. PLEDGE OF ALLEGIANCE

3. ROLL CALL

4. APPROVAL OF MINUTES

- 4-17-2018 Regular Planning Commission Meeting
- Cornerstone Church Site Plan Application (Not ready for review)

5. CORRESPONDENCE / BOARD REPORTS

-Boards and Commissions Expiration Dates

6. APPROVAL OF AGENDA

7. PUBLIC COMMENT: Restricted to (3) minutes regarding issues not on this agenda

9. NEW BUSINESS

A. Presentation of Adopted Sidewalk Policy and Map

**B. REZ-02** Rezone 477' x 369.92' from OS/R-2A to OS located at Bellows PID 14-023-20-016-02. Owner: Bellows Messenger LLC. (*Conduct public hearing and make recommendation to the Board of Trustees*)

**C. REZ 2018-03** Rezone 400' x 250' from AG to B-4 located at 5353 S. Mission Rd. PID 14-035-10-006-03. Owner: DeShano Development Co. (*Conduct public hearing and make recommendation to the Board of Trustees*)

**D. SPR 2018-05** Aldi Store Expansion Located at 4512 E. Bluegrass Rd. PID 14-026-40-001-18. Owner: Aldi Inc. (*Conduct review of site plan for approval*)

E. Discussion of Proposals received for Zoning Ordinance Update and Amend.

10. OTHER BUSINESS

11. EXTENDED PUBLIC COMMENT: Restricted to 5 minutes regarding any issue

12. FINAL BOARD COMMENT

13. ADJOURNMENT

**CHARTER TOWNSHIP OF UNION**  
**Planning Commission**  
**Regular Meeting**

A regular meeting of the Charter Township of Union Planning Commission was held on April 17, 2018 at the Township Hall.

**Meeting was called to order at 7:02 p.m.**

**Roll Call**

Present: Buckley, Darin, Fuller, LaBelle II, Mielke, Squattrito, & Webster

Excused: Shingles

**Others Present**

Township Planner, Peter Gallinat and Secretary, Jennifer Loveberry

**Approval of Minutes**

**LaBelle II** moved **Mielke** supported the approval of the March 20, 2018 regular meeting minutes as corrected. **Vote: Ayes: 7 Nays: 0. Motion carried.**

**Correspondence / Reports**

- ZBA – Updates by Mielke
- Sidewalk / Pathway Prioritization Committee - updates by Webster

**Approval of Agenda**

**Buckley** moved **Fuller** supported approval of the agenda as presented. **Vote: Ayes: 7 Nays 0. Motion carried.**

**Public Comment**

Open 7:08 p.m.

No comments were offered.

**Public Hearings**

**New Business**

**A. SUP 2018-2 specialized retail activities (Pharmacy) Located at Central Parkway  
PID 14-014-40-007-03. Owner: Central MI Community Hospital**

Introduction by Gallinat

Public Hearing – Open 7:11 p.m.

Chris Williams, 411 Greenfield Dr. – Questioned look of Pharmacy. Chair Squattrito addressed question stating that the site plan review following public hearing will address question.

Public Hearing – Closed 7:15 p.m.

Tim Bebee, CMS& D, on behalf of Isabella Citizens for Health stated that the applicant is requesting to include a pharmacy located within the medical facility.

Jennifer White, Director of the facility was available to answer questions.

Planning Commission went through section 30.3.A.1-10 discussing the general requirements for Special Uses.

**Buckley** moved **Webster** supported to recommend approval of SUP 2018-02 to the Board of Trustees, a specialized retail activities (Pharmacy) Central Parkway. PID 14-014-40-007-03 with the condition that the pharmacy hours are restricted to 7a.m. to 9p.m.  
**Vote: Ayes: 7 Nays 0. Motion carried.**

**B. SPR 2018-04 Medical Office Isabella Citizens for Health Inc. Located at Central Parkway PID 14-014-40-007-03. Owner: Central Michigan Community Hospital**

Peter Gallinat, Township Planner, gave a brief introduction stating that the applicant is proposing to construct a two story medical facility. The project has received all outside approvals - ICTC, Isabella County Drain office for storm water management, Township utilities, Mt. Pleasant Fire Department, and Isabella County Road Commission.

Tim Bebee, CMS&D, represented the applicant by explaining their desire to build a phased project. The proposed first phase is a 24,000 Total sq. ft.

**LaBelle** moved **Darin** supported to approve site plan review SPR 2018-04 Medical Office Isabella Citizens for Health Inc. Located at Central Parkway with the following conditions: provide screening for the full west (outside phase one boundaries) and north property lines in phase one that complies with the zoning ordinance, that a lighting plan is submitted and receives staff approval, and that the applicant complies with outside agency reviews and comments. **Vote: Ayes: 7 Nays 0. Motion carried.**

**C. Preliminary Site Plan Presentation. Proposed medical office located at 5316 E. Pickard Rd. Owner: SOS Holding Company LLC**

Tim Bebee, CMS & D, on behalf of the applicant, requested input by the Planning Commissioners regarding the submitted a preliminary site plan for approval of a medical office.

**Other Business**

**Extended Public Comment**

Open 8:37 p.m.

No comments were offered.

**Final Board Comment**

Mielke – Commented on ZBA involvement in zoning ordinance update.

**Adjournment** – Chairman Squattrito adjourned the meeting at 8:39 p.m.

**APPROVED BY:**

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Alex Fuller - Secretary  
Mike Darin – Vice Secretary

*(Recorded by Jennifer Loveberry)*

## Union Township Site Plan Review Application 2015 Revision

### FILL OUT THE FOLLOWING

- I. This application is for (circle one) Preliminary Site Plan Review Final Site Plan Review
- II. Applicant Name CORNERSTONE CHURCH
- III. Applicant Address 2214 S LINCOLN ROAD MT PLEASANT
- IV. Applicant Phone 989.719.0188 Owner Phone \_\_\_\_\_
- V. Applicant is (circle) Contractor Architect Engineer Developer Land Owner (skip V& VI)  
Other
- VI. Land Owner Name CORNERSTONE CHURCH
- VII. Land Owner Address 2214 S LINCOLN RD
- VIII. Project/Business Name CORNERSTONE CHURCH
- IX. Fill out check list that follows. You must check off that each item has been included in the drawing. If an item is not going to be included in the construction, note that in the comment area. For the first three items, check off if you have made the required submittals to other reviewing agencies.

SUBMITTALS TO OTHER AGENCIES	Off	
Storm water management plan approval prior to application. Reviewed by the County Engineer	<input type="checkbox"/>	Copy of Union Township Storm Water Management Plan available upon request. Submit (2) copies of plan and calculations directly to the Isabella County Engineer, contact Bruce Rohrer at (989) 772 0911, ext. 231. Any review fees are additional.
All curb cuts, acceleration/deceleration lanes, additional drives, and other matters pertaining to roads to be approved by MDOT or Isabella County Road Commission prior to application.	<input type="checkbox"/>	MDOT (M 20, BR 127 sites) at (989) 773 7756. Contact Isabella County Road Commission (all other county roads) at (989) 773 7131. Submit (3) copies.
Mt. Pleasant Fire Dept.	<input type="checkbox"/>	Sgt Randy Keeler (989) 779-5122, (2) copies
Isabella Co Transportation Commission (ICTC)	<input type="checkbox"/>	Rick (989) 773 2913, (2) copies
<b>WELLHEAD PROTECTION REPORTING FORMS (Required for all Site Plans)</b>		
Hazardous Substances Reporting Form Part I and II (Forms included in this packet)	<input type="checkbox"/>	Kim Smith (989) 772-4600 ext 224 ksmith@uniontownshipmi.com
<b>PERMIT INFORMATION - DEQ Check List</b>		
<b>SITE PLAN REQUIREMENTS</b>		
	<b>I Of</b>	<b>Comments - (also indicate any features which will not be included in the development or are not applicable)</b>
Name and addresses of Property Owner	<input type="checkbox"/>	
Name and Address of Applicant	<input type="checkbox"/>	
Provide Construction Type (per Mi Building Code) and if sprinkled, (assume Type IVb, un-sprinkled if not provided)	<input type="checkbox"/>	



## Union Township Site Plan Review Application 2015 Revision

The date, north arrow and scale. The scale shall be not less than 1"= 20' for property under three (3) acres and not more than 1"=40' for property greater than three acres.		
All lot and/or property lines are to be shown and dimensioned, including building setback lines		
The location and dimensions of all existing and proposed: fire hydrants (within 400 feet of building) - - - drives, ----- sidewalks, (required ) ----- curb openings, ----- acceleration/deceleration lanes, ----- signs, ----- exterior lighting on buildings and parking lots, - - parking areas (Including handicapped parking spaces, barrier-free building access, unloading areas), ----- recreation areas, ----- common use areas, ----- areas to be conveyed for public use and purpose. -		
Elevation of building front, side, and back. Include Sign size, height, and design. Canopy heights extending over driveways accommodate Public Transportation		
Source of utilities. Public water and sewer approval by Union Township Utility Coordinator prior to application.		Note: Union Township policy is to issue sewer and water permits after application for a building permit. Applicant is advised to contact the utility department for availability prior to site plan review. The township does not coordinate other utility matters. Applicant to assure himself that site is suitable for septic systems, contact Central Michigan District Health Department
All dumpsters shall be screened from public view with an opaque fence or wall no less than six feet in height. Show location. (Note most refuse contractors require concrete pad to place dumpsters upon)		
The location and right-of-way width of all abutting roads, streets, alleys and easements.		
A locational sketch drawn to scale giving the section number and the nearest crossroads.		

# Union Township Site Plan Review Application 2015 Revision

The zoning of the subject property and the abutting properties.		
The location, height and type of fences and walls.		
The location and detailed description of landscaping.		
For multiple family and mobile home parks, contour intervals shall be shown (two foot intervals for average slopes ten percent and under and five foot intervals for slopes over ten percent). Topography, however, is encouraged to be shown on all site plans.		
The location of all existing and proposed structures on and within one hundred feet of the subject property's boundary.		
For apartments, provide a count of bedrooms per building and total count of bedrooms for the project.		

### APPLICANT COMMENTS

[illegible]

**Union Township Site Plan Review Application 2015 Revision**


<u>Township use</u>	Review Comments
File # _____	_____
Fee Paid initial _____	_____
Receipt # _____	_____
Date received _____	_____
Date review completed by Zoning Administrator _____	_____
Place on the _____ Planning Commission Agenda	
Planning Commission Decision _____	_____

## Union Township Site Plan Review Application 2015 Revision

I submit the site plan and this application as a true representation of existing and proposed conditions. I agree to install all features as shown and to abide by conditions placed upon approval of this plan by the Union Township Planning Commission . False or inaccurate information placed upon this plan may be cause for revocation of any permits issued pursuant to site plan approval and / or removal of work installed. Any changes to the Site Plan now or in the future must be approved by the Union Township Planning Commission or Zoning Administrator. Approval of this plan shall not constitute the right to violate any provisions of the Union Township Zoning Ordinance 1991-5, or other applicable building or state codes and or laws.

  
\_\_\_\_\_  
Signature of Applicant

5-1-18  
\_\_\_\_\_  
Date

  
\_\_\_\_\_  
Signature of Owner (if other than applicant)

5-1-18  
\_\_\_\_\_  
Date

PLEASE PLACE OUR REVIEW ON THE \_\_\_\_\_ (INSERT DATE)  
PLANNING COMMISSION MEETING. An owners representative WILL / WILL NOT attend. You  
will not receive a reminder of the scheduled meeting.

# CHARTER TOWNSHIP OF UNION

## SITE PLAN REVIEW HAZARDOUS SUBSTANCES REPORTING FORM

This form must be completed and submitted as part of the site plan for facilities which may use, store, or generate hazardous substances or polluting materials (including petroleum-based products)

Name of business:

Johnson Builders

Name of business owner(s):

Street and mailing address:

994 Alameda Rd

Shepherd MI 48883

Telephone:

Fax:

989-621-5174

Email:

**I affirm that the information submitted is accurate.**

Owner(s) signature and date:



Information compiled by:

## Part 1: Management of Hazardous Substances and Polluting Materials

1. Y ☒ N Will the proposed facility store, use or generate hazardous substances or polluting materials (including petroleum-based products) now or in the future? If yes, please complete this form and submit with your site plan. A catalogue and map of natural resources on and near the site, including an assessment of groundwater vulnerability is required to be submitted with your plan.
2. Y ☒ N ~~Will the facility~~  
on-site?
3. Y ☒ N Will any hazardous substances or polluting materials be stored on-site? If yes, identify the storage location on the site plan. Describe the size and type of secondary containment structure here or on an attached page. Submit a map and/or diagram of facilities on the site related to groundwater protection, including secondary containment structures, loading/unloading areas, drinking water wells, septic systems, underground storage tanks and storm drain inlets.
4. Y ☒ N Will the new underground storage tanks be located less than 2000 feet from a drinking water well serving more than a single household?
5. Y ☒ N Are existing underground storage tanks on-site less than 200 feet from a drinking water well serving more than a single household?
- If the answer to questions 4 or 5 are yes, you may be in violation of the State of Michigan underground storage tank regulations . For specific requirements, please contact the MDEQ Underground Storage Tank Division. District Office Telephone: 989-894-6200 (Saginaw Bay District Office)
6. Y ☒ N Will the interior of the facility have general purpose floor drains? (general purpose floor drains should not be connected to a sanitary sewer system, stormwater drainage system, dry well or septic system). If yes, will the floor drain connect to: (circle one)
- a. on-site holding tank  
b. on-site system
- The on-site system must be approved by the MDEQ.  
Contact: MDEQ Waste Management Division.  
District Office telephone: 989-894-6200 (Saginaw Bay District Office)
7. Y ☒ N Will hazardous substances or polluting materials be stored, used, or handled out-of doors near storm drains which discharge to lakes, streams, or wetlands? If yes, describe the type of catch basin or spill containment facilities which will be used (use an attached sheet with diagram if appropriate).

cc: Charter Township of Union Department of Public Works

## Part II: Types and Quantities of Hazardous Substances and Polluting Materials Used, Stored or Generated On-Site

Please list the hazardous substances and polluting materials (including chemicals, hazardous materials, petroleum products, hazardous wastes and other polluting materials) which are expected to be used, stored or generated on -site. Quantities should reflect the maximum volumes on hand at any time. Attach additional pages if necessary to list all hazardous substances and polluting materials.

Common Name	CHEMICAL NAME (components)	Form	MAX QUANTITY ON HAND AT ONE TIME	TYPE OF STORAGE CONTAINERS
	<b>KEY:</b> LQ = liquid P.LQ = pressurized liquid S = solids G = gas PG = pressurized gas			<b>KEY:</b> AGT = above ground tank DM = drums UGT = underground tank CY = cylinders CM = metal cylinders CW = wooden or composition container TP = portable tank



## PERMIT INFORMATION

[www.michigan.gov/deqpermits](http://www.michigan.gov/deqpermits)

The Department of Environmental Quality (DEQ) has prepared a list of key questions to help identify what DEQ permits, licenses, or approvals of a permit-like nature may be needed. By contacting the appropriate offices indicated, you will help reduce the possibility that your project or activity will be delayed due to the untimely discovery of additional permitting requirements later in the construction process. While this list covers the existence of permits and approvals required from the DEQ, it is not a comprehensive list of all legal responsibilities. A useful way to learn whether other requirements will apply is to go through the Self-Environmental Assessment in the Michigan Guide to Environmental, Health, and Safety Regulations, online at: <http://www.michigan.gov/ehsguide>. Please call the Environmental Assistance Center at 800-662-9278 to talk with any of the DEQ programs noted below.

KEY QUESTIONS:	Yes <input type="checkbox"/>	No <input type="checkbox"/>	PROGRAM WEBPAGE AND CONTACTS
<b>MISCELLANEOUS CONSTRUCTION</b>			
<i>Air Quality Permit to Install:</i> Will your business involve the installation or construction of any process equipment that has the potential to emit air contaminants (e.g. dry sand blasting, boilers, standby generators)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Air Quality Division (AQD), <u>Permit Section</u>
<i>Asbestos Notification:</i> Does the project involve renovating or demolishing all or portions of a building? Notification is required for asbestos removal and required for all demolitions even if the structure never contained asbestos.	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	AQD, <u>Asbestos Program</u>
<i>Land and Water Featured Programs (Water Resources Division) - USACE Consolidated Permits:</i> Please consult the <u>Land and Water Management Decision Tree</u> document to evaluate whether your project needs a land and water management permit (i.e., Does the project involve filling, dredging, placement of structures, draining, or use of a wetland?).	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Water Resources Division (WRD), <u>Joint Permit Application</u>
<i>Soil Erosion and Sedimentation Control:</i> Does the project involve an earth change activity (including land balancing, demolition involving soil movement, and construction)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>Soil Erosion and Construction Storm Water</u> , or Contact your <u>Local Agency</u>
<i>NPDES Storm Water Discharge from Construction Sites Notice of Coverage:</i> Does the project involve construction which will disturb one or more acres that come into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	NPDES <u>Storm Water Permits Program</u> , or appropriate <u>DEQ District Office</u>
<i>Public Swimming Pool Construction (Spas/Hot Tubs) Permits:</i> Will your business involve the construction or modification of a public swimming pool, spa or hot tub?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>Public Swimming Pool Program</u> , or appropriate <u>DEQ District Office</u>
<i>Threatened and Endangered Species:</i> Does the project involve activities that would destroy a protected species of plant or animal or disturb a protected animal species?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>Endangered Species Assessment, Threatened and Endangered Species Program</u> , 517-373-1552
Does the project involve construction or alteration of any sewage collection or treatment facility?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Appropriate <u>District Office</u> , WRD, Part 41 Construction Permit Program
Does the project involve construction of a facility that landfills, transfers, or processes of any type of solid non-hazardous waste on-site, or places industrial residuals/sludge into or onto the ground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Office of Waste Management and Radiological Protection (OWMRP), <u>Solid Waste</u> , Appropriate <u>DEQ District Office</u>
Does the project involve the construction of an on-site treatment, storage, or disposal facility for hazardous waste?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, Hazardous Waste Section, <u>Treatment, Storage and Disposal</u>
<b>WATER SUPPLY (More information, see: <a href="http://www.michigan.gov/deqwater">http://www.michigan.gov/deqwater</a>, select "drinking water")</b>			
I am buying water from my community water supply (i.e. city of Detroit or Grand Rapids)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Contact your <u>Local Water Utility</u>
I have a private or other water supply well (Type III)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Contact your (District or County) <u>Local Health Department</u>
I have a Non-Community Water Supply (Type II)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>Guide</u> , Contact your (District or County) <u>Local Health Department</u>
I am a community water supply (Type I)	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>	<u>Community Water Supply</u> , <u>DEQ District Office Community Water Supply Program</u>



WASTEWATER MANAGEMENT		
<b>Storm Water Discharge to Wetlands:</b> Will storm water be collected, stored, or treated in a wetland area from a public road, industrial, commercial, or multi-unit residential development?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/> WRD, <u>Joint Permit Application</u>
<b>Great Lakes:</b> Does the project involve construction, filling, or dredging below the Ordinary High Water Mark of one of the Great Lakes?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/> WRD, <u>Joint Permit Application</u>
<b>Inland Lakes and Streams:</b> Does the project involve any dredging, filling, placement of structures, or the operation of a marina within an inland waterbody (e.g. lake, river, stream, drain, creek, ditch, or canal), enlargement of a waterbody, or excavation of a pond within 500 feet of a waterbody?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/> WRD, <u>Joint Permit Application</u>
<b>Storm Water Ponds and Discharges to Inland Lakes/Streams, or Great Lakes:</b> Will storm water from any road or any other part of the development be discharged either directly or ultimately to an inland waterbody, or one of the Great Lakes; or will a storm water pond be constructed within 500 feet of an inland waterbody?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/> WRD, <u>Joint Permit Application</u>
Does the project involve placement of fill, earth moving, or placement of structures within the 100-year floodplain of a watercourse?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/> WRD, <u>Joint Permit Application</u>
Does the project involve construction of a building or septic system in a designated Great Lakes high risk erosion area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/> WRD, <u>Shoreland Management</u>
Does the project involve dredging, filling, grading, or other alteration of the soil, vegetation, or natural drainage, or placement of permanent structures in a designated environmental area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/> WRD, <u>Shoreland Management</u>
Does the project propose any development, construction, silvicultural activities or contour alterations within a designated critical dune area?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/> WRD, <u>Sand Dune Management</u>
Does the project involve construction of a dam, weir or other structure to impound flow?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/> WRD, <u>Dam Safety Program</u>
<b>CONSTRUCTION PERMITS (SECTOR SPECIFIC)</b>		
Does the project involve the construction or alteration of a water supply system or sewage disposal system for a manufactured housing project?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/> Office of Drinking Water & Municipal Assistance (ODWMA)
Does the project involve a subdivision or site condominium project utilizing individual on-site subsurface disposal systems or individual wells?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/> ODWMA
Does the project involve the construction or modification of a campground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/> ODWMA, <u>Campgrounds program</u>
Does the project involve the construction or modification of a public swimming pool?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/> ODWMA, <u>Swimming pools program</u>
<b>OPERATIONAL PERMITS</b>		
<b>Renewable Operating Permit:</b> Does your facility have the potential to emit any of the following: 100 tons per year or more of any criteria pollutant; 10 tons per year or more of any hazardous air pollutant; or 25 tons per year or more of any combination of hazardous air pollutants?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/> AQD, <u>Permit Section</u>
<b>NPDES:</b> Does the project involve the discharge of any type of wastewater to a storm sewer, drain, lake, stream, or other surface water?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/> WRD, Appropriate <u>DEQ District Office</u> , or <u>National Pollutant Discharge Elimination (NPDES) Permit Program</u>
Does the facility have industrial activity that comes into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/> WRD, <u>Permits Section</u> , or appropriate <u>DEQ District Office</u>
Does the project involve the discharge of wastewaters into or onto the ground (e.g. subsurface disposal or irrigation)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/> WRD, <u>Groundwater Permits Program</u>
Does the project involve the drilling or deepening of wells for waste disposal?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/> Office of Oil, Gas and Minerals (OOGM)
Does the project involve landfilling, transferring, or processing of any type of solid non-hazardous waste on-site, or placing industrial residuals/sludge into or onto the ground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/> <u>OWMRP</u> or Appropriate <u>DEQ District Office</u>

Does the project involve the on-site treatment, storage, or disposal of hazardous waste?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Hazardous and Liquid Waste</u>
Does the project require a site identification number (EPA number) for regulated waste activities (used oil, liquid waste, hazardous waste, universal waste, PCBs)? ( <u>Web Site</u> )	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, Appropriate <u>DEQ District Office</u>
Does the project involve the receipt, possession, manufacture, use, storage, transport, transfer, release, or disposal of radioactive material in any form?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Radioactive Material and Standards Unit</u>
Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP <u>Radioactive Material and Standards Unit</u>
Do you desire to develop a withdrawal of over 2,000,000 gallons of water per day from any source other than the Great Lakes and their connecting waterways? Or, do you desire to develop a withdrawal of over 5,000,000 gallons of water per day from the Great Lakes or their connecting waterways?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, DWEHS, <u>Source Water Protection Unit</u>
<b>CHEMICAL ADDITION PROJECTS</b>			
Are you using chemicals or materials in, or in contact with, drinking water at any point in the water works system?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, Appropriate <u>DEQ District Office, Public Water Supply Program</u>
Are you applying a chemical treatment for the purpose of aquatic nuisance control (pesticide/herbicide etc) in a water body (i.e. lake, pond or river)? (5.	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Aquatic Nuisance Control and Remedial Action Unit</u>
Are you applying materials to a water body for a water resource management project (i.e. mosquito control treatments, dye testing, or fish reclamation projects)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Surface Water Assessment Section</u>
<b>OPERATIONAL PERMITS (SECTOR SPECIFIC)</b>			
Does the project involve the transport of some other facility's non-hazardous liquid waste?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Transporter Program</u>
Does the project involve the transport hazardous waste?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Transporter Program</u>
Does your facility have an electric generating unit that sells electricity to the grid and burns a fossil fuel?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	AQD, <u>Acid Rain Permit Program</u>
Is the project a dry cleaning establishment utilizing perchloroethylene or a flammable solvent in the cleaning process?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	DEQ, AQD, <u>Dry Cleaning Program</u>
Does your laboratory test potable water as required for compliance and monitoring purposes of the Safe Drinking Water Act?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	DEQ, <u>Laboratory Services Certifications</u>
Does the project involve the generation of medical waste or a facility that treats medical waste prior to its disposal?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Medical Waste Regulatory Program</u>
Does the project involve transport of septic tank, cesspool, or dry well contents or the discharge of septage or sewage sludge into or onto the ground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Septage Program</u>
Do you store, haul, shred or process scrap tires?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, <u>Scrap Tire Program</u>
Does the project involve the operation of a public swimming pool?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Public Swimming Pools Program</u>
Does the project involve the operation of a campground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Campgrounds</u>
Do you engage in the business of hauling bulk water for drinking or household purposes (except for your own household use)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	ODWMA, <u>Water Hauler Information</u>
<b>PERSONAL LICENSES/CERTIFICATIONS</b>			
Are you designated by your facility to be the Certified Operator to fulfill the requirements of a wastewater discharge permit (NPDES including Storm	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	WRD, <u>Operator Training, Storm Water Program</u>

Water or Groundwater)?		
Are you a drinking water operator in charge of a water treatment or water distribution system, back-up operator, or shift operator?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, <u>Operator Training</u>
Are you a water-well drilling contractor, pump installer, dewatering well contractor or dewatering well pump installer?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, <u>Well Construction Unit</u>
<b>OIL, GAS AND MINERALS</b>		
Do you want to operate a central production facility (applies to oil and gas production facilities where products of diverse ownership are commingled)?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Petroleum Geology and Production Unit</u>
Does the project involve the removal of sand from a sand dune area within two (2) miles of a Great Lakes shoreline?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, Minerals and Mapping Unit, <u>Sand Dune Mining Program</u>
Does the project involve the diversion and control of water for the mining and processing of low-grade iron ore?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve the surface or open-pit mining of metallic mineral deposits?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve the mining of nonferrous mineral deposits at the surface or in underground mines?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve mining coal?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Do you want to change the status of an oil or gas well (i.e. plug the well)?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Permits and Bonding Unit</u>
Does the project involve drilling of oil, gas, brine disposal, secondary recovery, or hydrocarbon storage wells?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Permits and Bonding Unit</u>
Does the project involve plugging or deepening of an oil or gas well, or conveying rights in the well as an owner to another person?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Permits and Bonding Unit</u>
Does the project involve changing the status or plugging of a mineral well?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve the drilling or deepening of wells for brine production, solution mining, storage, or as test wells?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OOGM, <u>Minerals and Mapping</u>
Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OWMRP, <u>Radioactive Protection Programs</u>
<b>STORAGE TANKS (CONSTRUCTION AND OPERATION)</b>		
Does the project involve the installation of an aboveground storage tank for a flammable or combustible liquid (under 200 degrees Fahrenheit)?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	Michigan Department of Licensing and Regulatory Affairs (DLARA) - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation of a compressed natural gas dispensing station with storage?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation of a liquefied petroleum gas container filling location or storage location that has a tank with a capacity of more than 2,000 gallons or has two (2) or more tanks with an aggregate capacity of more than 4,000 gallons?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation, removal, or upgrade of an underground storage tank containing a petroleum product or a hazardous substance?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation of a hydrogen system?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	DLARA - <u>Storage Tank Unit, 517-335-7211</u>

## Board Expiration Dates

Planning Commission Board Members (9 Members) 3 year term			
#	F Name	L Name	Expiration Date
1-BOT Representative			11/20/2020
2-Chair	Phil	Squattrito	2/15/2020
3- Vice Chair	Bryan	Mielke	2/15/2021
4-Secretary	Alex	Fuller	2/15/2020
5 - Vice Secretary	Mike	Darin	2/15/2019
6	Stan	Shingles	2/15/2021
7	Ryan	Buckley	2/15/2019
8	Denise	Webster	2/15/2020
9	Doug	LaBelle II	2/15/2019
Zoning Board of Appeals Members (5 Members, 2 Alternates) 3 year term			
#	F Name	L Name	Expiration Date
1-Chair	Tim	Warner	12/31/2019
2-PC Rep / Vice Chair	Bryan	Mielke	2/18/2021
3-Vice Secretary	Jake	Hunter	12/31/2019
4	Andy	Theisen	12/31/2019
5	Paul	Gross	12/31/2018
Alt. #1	John	Zerbe	12/31/2019
Alt. #2	Taylor	Sheahan-Stahl	2/15/2021
Board of Review (3 Members) 2 year term			
#	F Name	L Name	Expiration Date
1	Doug	LaBelle II	12/31/2018
2	James	Thering	12/31/2018
3	Bryan	Neyer	12/31/2018
Alt #1	Mary Beth	Orr	1/25/2019
Citizens Task Force on Sustainability (4 Members) 2 year term			
#	F Name	L Name	Expiration Date
1	Laura	Coffee	12/31/2018
2	Mike	Lyon	12/31/2018
3	Jay	Kahn	12/31/2018
4	Phil	Mikus	11/20/2020
Construction Board of Appeals (3 Members) 2 year term			
#	F Name	L Name	Expiration Date
1	Colin	Herron	12/31/2019
2	Richard	Klumpp	12/31/2019
3	Andy	Theisen	12/31/2019
Hannah's Bark Park Advisory Board (2 Members from Township) 2 year term			
1	Mark	Stuhldreher	12/31/2018
2	John	Dinse	12/31/2019
Chippewa River District Library Board 4 year term			
1	Ruth	Helwig	12/31/2019
2	Lynn	Laskowsky	12/31/2021



## Board Expiration Dates

EDA Board Members (11 Members) 4 year term			
#	F Name	L Name	Expiration Date
1	Thomas	Kequom	4/14/2019
2	James	Zalud	4/14/2019
3	Richard	Barz	2/13/2021
4	Robert	Bacon	1/13/2019
5	Ben	Gunning	11/20/2020
6	Marty	Figg	6/22/2018
7	Sarvjit	Chowdhary	1/20/2022
8	Cheryl	Hunter	6/22/2019
9	Vance	Johnson	2/13/2021
10	Michael	Smith	2/13/2021
11	David	Coyne	3/26/2022
Mid Michigan Area Cable Consortium (2 Members)			
#	F Name	L Name	Expiration Date
1	Kim	Smith	12/31/2020
2	Vacant		
Cultural and Recreational Commission (1 seat from Township) 3 year term			
#	F Name	L Name	Expiration Date
1	Brian	Smith	12/31/2019
Sidewalks and Pathways Prioritization Committee (2 year term)			
#	F Name	L Name	Expiration Date
1 BOT Representative	Phil	Mikus	7/26/2019
2 PC Representative	Denise	Webster	8/15/2018
3 Township Resident	Sherrie	Teall	8/15/2019
4 Township Resident	Jeremy	MacDonald	10/17/2018
5 Member at large	Barbara	Anderson	8/15/2019

Sidewalk and Pathways Prioritization Committee recommends all site plans, within the boundaries of Union Township, will require sidewalks to be shown on the site plan. The Sidewalk and Pathways Prioritization Committee recommends to the Township Board and Planning Commission the following as it relates to the construction of sidewalks on parcels requiring a site plan.

**I. Identification of Designated Streets for Sidewalk Construction**

The Planning Commission will NOT grant a developer/owner of a parcel, with frontage along the designated streets, relief from the construction of a sidewalk as shown on the site plan. The goal is to develop sidewalks on both sides of the designated street.

- The designated streets were identified to complete sidewalks, to fill gaps with existing sidewalks to connect with city, and CMU property; to connect schools, parks, bus stops, activity centers, employment centers, retail, business, health care facilities, senior living centers, religious institutions, civic buildings, community services within the township.

Designated Streets (Identified on the Sidewalk map as developed by the Sidewalk and Pathways Prioritization Committee, March 2018.)

- North
  - **Pickard Road** from Lincoln to Township Boundary
    - Township parcels: Along **Crawford Road** North from Pickard to Mission Creek Park
- East
  - **Isabella Road** South from Pickard Road to Blue Grass
    - **Remus Road** (from Isabella Road east to 127)
    - **Remus Road** (from Isabella Road west to city limits)
- South
  - Township parcels:
    - **Broomfield Road** (east) - Gover Parkway to city line
    - **Broomfield Road** (west) - city line to Lincoln
      - Townships parcels: Crawford Road Broomfield to Deerfield
    - **Blue Grass** Isabella to Mission
- West
  - **Lincoln Road** north from Broomfield to Pickard
    - **Remus Road** (from Lincoln Road east to city limits)

**II. Criteria for Granting Relief of Sidewalk Construction**

Parcels not identified on a designated street may be granted provisional relief of sidewalk construction if any of the following conditions apply:

1. The development is located on a property zoned industrial.
2. The development is located on an unimproved road.
3. The development is located on property with road frontage where no car-pedestrian injury or fatality, due to the need of the pedestrian to walk in the roadway, has occurred for a distance of 1 mile in either direction of the development. A car-pedestrian accident within 1 mile of area provided relief from building the sidewalk will required sidewalk construction within 1 year.
4. Less than 50% of the surveyed sections of the township along the road fronting the proposed development has sidewalks. If on a corner lot, the mile will extend in both directions along the frontage roads. Once the threshold has been meet all parcels will be required to construct sidewalks within 1 year.
5. If the cost of the sidewalk construction exceeds more than 50% of the total cost of the project.

III. The Sidewalk and Pathways Prioritization Committee recommends to the Township Board

1. Property owners previously granted relief (waivers) to construct sidewalks that have road frontage along the designated streets, as identified by the committee on March 12, 2018, need to be contacted and a plan be developed for the sidewalk to be constructed with 2 years.
2. The designated streets, accompanying map, and the Criteria for Granting Relief should be reviewed yearly by the Sidewalk and Pathways Prioritization Committee and adjusted as conditions and growth occur with the township.

IV. Definitions

- a. Designated Street: A public way or road within The Charter Township of Union, Isabella County Michigan.
- b. Provisional: Provided for the time being; grant of relief is subject to later alteration.
- c. Relief: To eliminate the required construction of a sidewalk as shown on the site plan.
- d. Sidewalk: A paved path, usually concrete, located in a road right-a-way but away from the actual road surface and designed, constructed and designated for pedestrian travel. While Michigan law (MCL 257.660c and 257.660d) allows for travel on sidewalks or pathways by bicycle, provided they yield to pedestrians and do not impede traffic by pedestrians, adult cyclists are encouraged to use roadways or pathways as safer options.



# Union Township: Sidewalk Implementation & Prioritization

Existing Sidewalks

Street Priorities

River, Creek, or Drain

Lake or Pond

Township Parcels

Parks

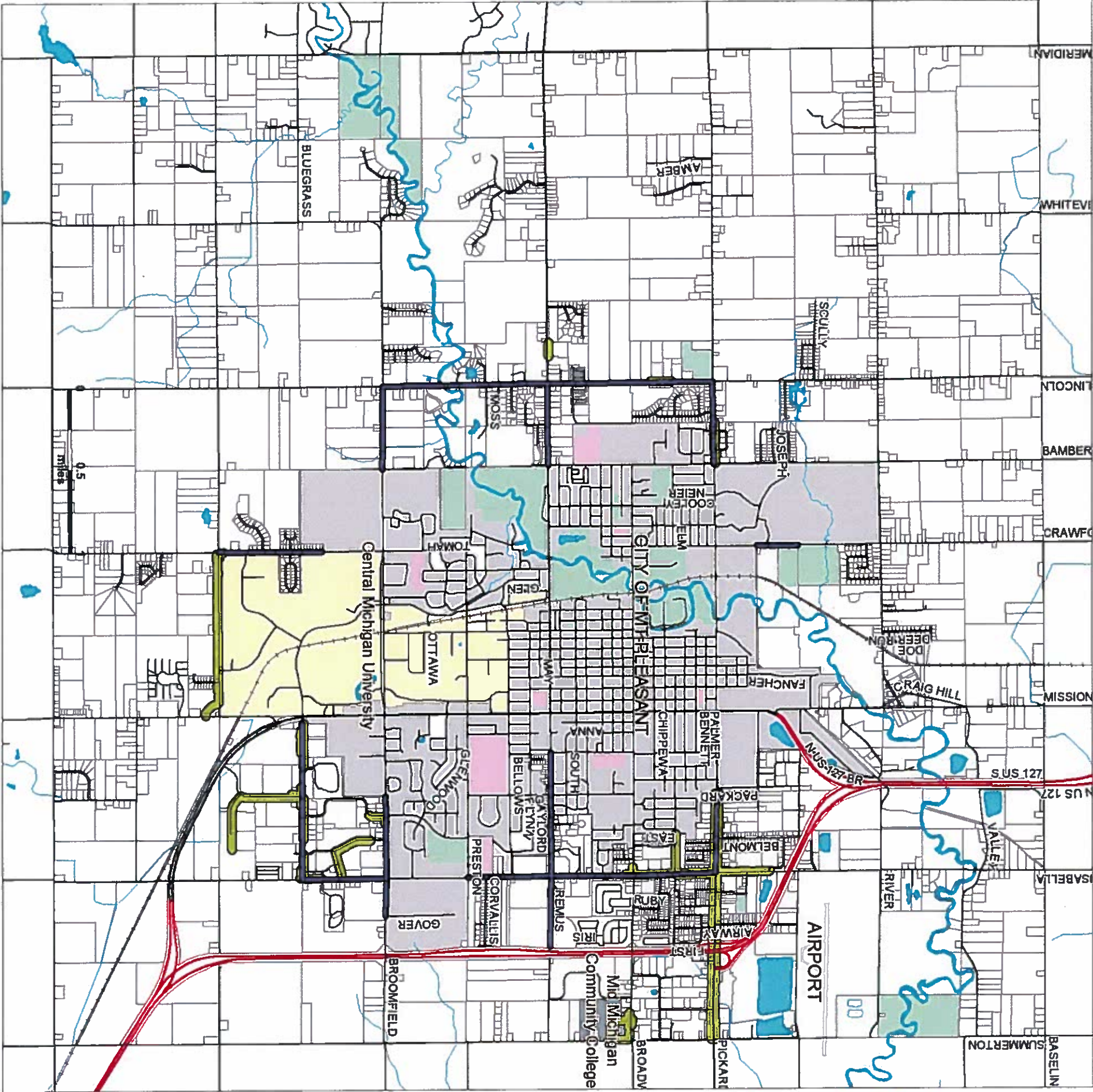
Schools

Mid Michigan Community College

Central Michigan University

City of Mt. Pleasant

Legend



Map Production Date: April 4, 2018







Peter Gallinat, Township Planner  
pgallinat@uniontownshipmi.com  
2010 South Lincoln  
Mt. Pleasant, MI 48858  
Phone 989-772-4600 Ext. 241  
Fax 989-773-1988

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TO: Planning Commission  
FROM: Township Planner

**New Business**

**SUBJECT: B) REZ 2018-02 Bellows Messenger LLC Medical Office. PID 14-023-20-016-02**

**Applicant:** Bellows Messenger LLC

**Owner:** Bellows Messenger LLC

**Location:** PID 14-23-20-016-02 MT PLEASANT, MI 48858

**Current Zoning:** OS Office District and R-2A One and Two Family Low Density Residential.

**Adjacent Zoning:** R-2A to West. MP City to the South. R-2A to the North and R-3A to the East.

**Future Land Use/Intent:** Neighborhood Service: Located primarily along corridors adjoining lower intensity land uses, the intent of this district is to limit future retail and focus on small-scale personal service and office uses. This district accommodates shallow lots, providing a good buffer and transition to residential uses and limiting heavy commercial and general retail uses so they can be focused on other areas of the township. Rear yards adjoining residential areas should be well-screened to limit impacts of higher intensity uses. These areas should be accessible and comfortable for the pedestrian and should create a sense of place along the roadway.

**Current Use:** Vacant

**Reason for Request:** Applicant request to rezone property for a Medical office facility

**History:** Last year the Township approved a rezone change for this property for the same use. The Township also approved a site plan for the proposed medical facility. At the time the owner was First Baptist Church and the proposed section of property had yet to be split. At this time a land division has been approved and Bellows Messenger LLC is now the owner.

After the previous site plan was approved the applicant made changes to the location of the proposed building on the property as well as added parking spaces and additional driveway. These changes did not warrant a new approval from the PC. The problem these changes caused is the new location of the building no longer fit entirely on the section of property that had been rezoned.

**Objective of board:** The Planning Commission shall submit the proposed amendment, along with its recommendation, to the Township Board for consideration within sixty (60) days from the conclusion of the public hearing.

**Recommend at this time to recommend approval of REZ 2018-02 to the Board of Trustees for the following reasons.**

- Similar request as previously requested and comports with new FLU Map.

Peter Gallinat  
Twp Planner

APPLICATION FOR ZONING CHANGE  
CHARTER TOWNSHIP OF UNION  
ISABELLA COUNTY, MICHIGAN

APPLICATION NO. \_\_\_\_\_

DATE \_\_\_\_\_

A. I (WE) Bellows Messenger, LLC

Address 1515 Lake Lansing Road, Lansing, MI 48912

Phone 517-487-0128

hereby file an application with the Township Clerk's office to:

1. ☐ Add to or change the text of the Zoning Ordinance.
2. ☐ Change the district boundaries.
3. ☒ Re-zone the property from R-2A One and Two-Family District  
zoning classification to OS Office/Service  
zoning classification.

B. If this application is for a text amendment please describe in detail what you would like to change. Give section numbers and proposed changes, standards, and procedures.

C. If this application is for the re-zoning of property please provide a complete legal description.

See attached sheet. The applicant proposes to purchase a portion of an existing parcel located at 1802 E. High St and rezone the portion described on the attached sheet from R2A to OS.

D. If this application is for re-zoning please provide a complete common description. (address, cross roads, etc.)

Northwest quadrant of the Bellows St. and Isabella Rd. intersection. 477' x 369.92' parcel at the south end of First Baptist Church lot (1802 E. High St)

E. Please provide reasons for requesting text amendment or zoning change and include intended use of any land, buildings, or structures.

A 15,000 square foot medical office, occupied by Messenger Dermatology, is proposed to be built on this parcel.

F. Please provide a site plan for any property to be re-zoned following the requirements outlined in Section 12 of the Union Township Zoning Ordinance 1991-5.

G. List names and addresses of property owners lying within 300 feet of the property to be re-zoned. (use separate sheet)

H. List all or any easements or right-of-ways which have been granted said properties herein described.

Ex 122' right of way to Consumers Energy dated September 27, 1949 and recorded March 17, 1950 in Liber 239, Page 430.

CERTIFICATION:

I (WE) hereby certify that the afore information is accurate and assume responsibility for any error.

SIGNED:

Wm. G. Remington, Jr.  
Applicant

6/16/17  
Date

\_\_\_\_\_  
Applicant

\_\_\_\_\_  
Date

\_\_\_\_\_  
Applicant

\_\_\_\_\_  
Date

\*\*\*\*\*

\*\* FOR OFFICE USE ONLY \*\*

Date application referred to Planning Commission \_\_\_\_\_

Date public hearing notice published \_\_\_\_\_

Date public hearing notice mailed \_\_\_\_\_

Planning Commission Action. \_\_\_\_ Adopted \_\_\_\_ Denied Date \_\_\_\_\_

Date referred to County Planning Commission \_\_\_\_\_

Township Board Action \_\_\_\_ Adopted \_\_\_\_ Denied Date \_\_\_\_\_

Remarks: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

FEE \_\_\_\_\_

RECEIPT NO. \_\_\_\_\_

**Application for Zoning Change**

**Charter Township of Union, Isabella County, Michigan**

**Re-Zoning Application for Bellows Messenger, LLC**

**Property Owners within 300 Ft of Property to be Rezoned – Section G**

Julie Bontrager

3181 S Isabella Rd, Mt. Pleasant

Richard Pollion LLC

3245 S Isabella Rd, Mt. Pleasant

SHIVM LLC

1750 E Bellows, Mt. Pleasant

James and Kylee Johnson

1039 Sweeney St, Mt. Pleasant

Tracy Henry

1037 Sweeney St, Mt. Pleasant

Michigan Investment Partners

1019 Sweeney St, Mt. Pleasant

David and Linda Wirgau

1017 Sweeney St, Mt. Pleasant

Mary A Judge Trust

1015 Sweeney St, Mt. Pleasant

**James J and Elizabeth L Endres**  
**1013 Sweeney St, Mt. Pleasant**

**Priscilla F Adams**  
**1011 Sweeney St, Mt. Pleasant**

**Elina Erzikova**  
**1009 Sweeney St, Mt. Pleasant**

**Jennifer and Schaeffer JE Kitchen**  
**1007 Sweeney St, Mt. Pleasant**

**Virgina Mae Sharp Trust**  
**1005 Sweeney St, Mt Pleasant**

**William M and Shirley J Smith**  
**1003 Sweeney St, Mt. Pleasant**

**Tomiko O Pearsall**  
**1001 Sweeney St, Mt. Pleasant**

## UNION TOWNSHIP PUBLIC HEARING NOTICE -REZONING

NOTICE is hereby given that a Public Hearing will be held on Tuesday, May 15, 2018, at 7:00 p.m. at the Union Township Hall located at 2010 South Lincoln Road, Mt. Pleasant, Michigan, before the Union Township Planning Commission for the purpose of hearing any interested persons in the following request for a rezoning of ' 477.00' x 369.92' of property from R-2A (One and Two Family, Low Density Residential District) and OS (Office Service District) to OS Office Service), as allowed by the Union Township Zoning Ordinance 1991-5 as amended.

Requested by **Bellows Messenger, LLC** a rezoning of 477' x 369.92' located on PID 14-023-20-016-02 from R-2A and OS to OS District for medical facility.

Legal Description of property: Part of the northeast ¼ of the northeast ¼ of Section 23, Town 14 north, Range 4 west, Union Township, Isabella County, Michigan, described as beginning at a point on the west right-of-way line of Isabella Road, which is S00° 22'48"E, along the east line of said Section 23, 859.07 feet and N89° 49'04"W, parallel with the north line of said Section 23, 33.00 feet from the northeast corner of said Section 23; thence continuing N89° 49'04"W, 477.00 feet; thence S00° 22'48"E, parallel with said east line, 369.92 feet to a point on the north right-of-way of Bellows Street; thence S89° 49'04"E, along said north right of way line, 477.00 feet to a point on said west right of way line; thence N00° 22'48"W, along said west line, 369.92 feet to the point of beginning. Containing 4.05 acres of land. Subject to the easterly portion thereof as Isabella Road, the southerly portion thereof as Bellows Street and any other easements, restrictions or rights of way of record.

This property is located at: MOUNT PLEASANT, MI 48858  
PID 14-023-20-016-02

All interested persons may submit their views in person, in writing, or by signed proxy prior to the public hearing or at the public hearing.

All materials concerning this request may be seen at the Union Township Hall, located at 2010 S. Lincoln Road, Mt. Pleasant, Michigan, between the hours of 8:30 a.m. and 4:30 p.m., Monday through Friday. Phone (989) 772 4600 extension 241.

Peter Gallinat,  
Township Planner



The property outlined in a red border was had a portion of the property rezoned from R-2A (One and two family residential rezoned to OS (office service) last year. This portion was 298.5'x 502'. This portion was to be sold off and developed for a medical facility. The owner now seek a rezone of 369.92' x 477'. This rezone will be for the same portion of property as before and for the same use. The only changes are the dimensions of the property needed.

# CERTIFIED SURVEY

I, JOHN H. RAUSER, HEREBY CERTIFY THAT THE ATTACHED SURVEY HAS BEEN COMPLETED IN ACCORDANCE WITH PUBLIC ACT 132 OF 1970, AS AMENDED, AND THAT THE RATIO OF CLOSURE OF LATITUDES AND DEPARTURES IS NOT GREATER THAN 1 IN 5,000

## N 1/4 COR. SEC. 23, T14N-R4W

FOUND ISABELLA COUNTY REMON IN MON. BOX  
S55W 41.95' N&T #14769 IN NW FACE OF POWER POLE  
S60E 55.98' N&T #14769 IN NORTH FACE 24" MAPLE  
N55E 42.58' N&T #14769 IN SE FACE OF POWER POLE  
N55W 48.92' TOP CENTER HYDRANT

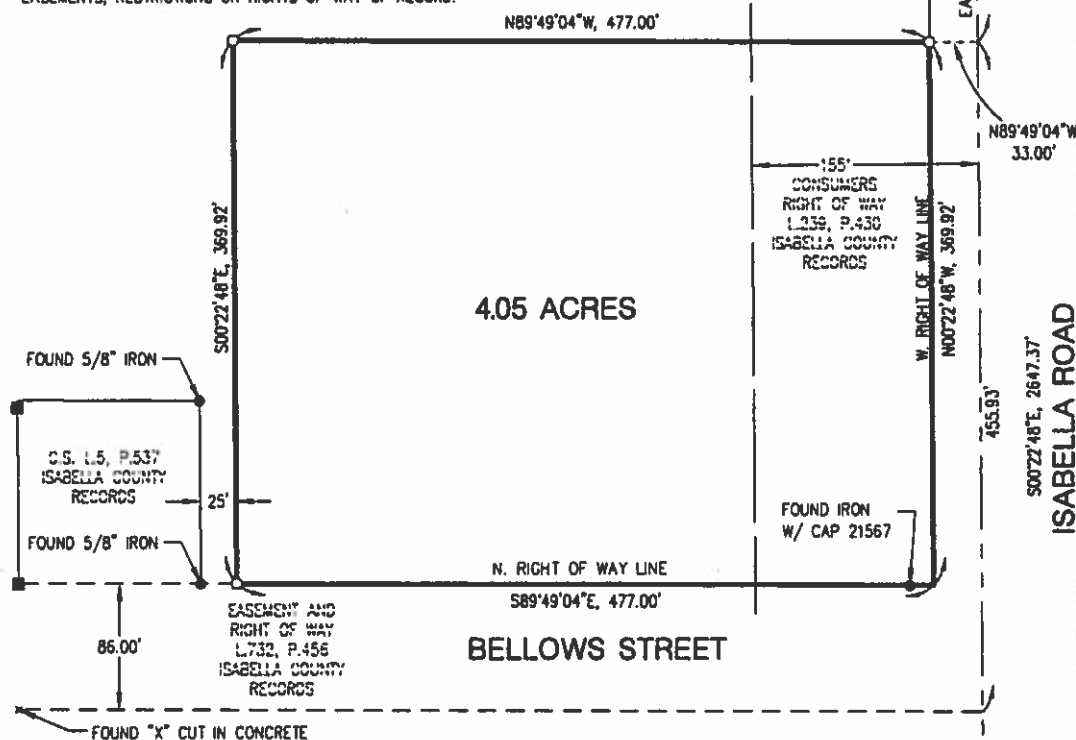
## NE COR. SEC. 23, T14N-R4W

FOUND ISABELLA COUNTY REMON IN MON. BOX  
N29E 66.23' CENTER OF WATER VALVE BOX  
S14E 86.22' N&T IN WEST FACE OF POWER POLE  
S34W 65.95' CENTER OF HEX HEAD NUT ON T/C OF HYDRANT  
N40W 58.43' N&T IN WEST FACE OF LIGHT POLE

N89°49'04"W, 2620.71'  
NORTH LINE, SEC. 23

### LEGAL DESCRIPTION:

PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 23, TOWN 14 NORTH, RANGE 4 WEST, UNION TOWNSHIP, ISABELLA COUNTY, MICHIGAN, DESCRIBED AS BEGINNING AT A POINT ON THE WEST RIGHT-OF-WAY LINE OF ISABELLA ROAD, WHICH IS S00°22'48"E, ALONG THE EAST LINE OF SAID SECTION 23, 859.07 FEET AND N89°49'04"W, PARALLEL WITH THE NORTH LINE OF SAID SECTION 23, 33.00 FEET FROM THE NORTHEAST CORNER OF SAID SECTION 23; THENCE CONTINUING N89°49'04"W, 477.00 FEET; THENCE S00°22'48"E, PARALLEL WITH SAID EAST LINE, 369.92 FEET TO A POINT ON THE NORTH RIGHT-OF-WAY LINE OF BELLOWS STREET; THENCE S89°49'04"E, ALONG SAID NORTH RIGHT OF WAY LINE, 477.00 FEET TO A POINT ON SAID WEST RIGHT-OF-WAY LINE; THENCE N00°22'48"W, ALONG SAID WEST RIGHT OF WAY LINE, 369.92 FEET TO THE POINT OF BEGINNING. CONTAINING 4.05 ACRES OF LAND. SUBJECT TO ANY EASEMENTS, RESTRICTIONS OR RIGHTS OF WAY OF RECORD.



### LEGEND:

- = SET IRON W/ CAP #39096
- = IRON FOUND
- = MONUMENT FOUND

## E 1/4 COR. SEC. 23, T14N-R4W

FOUND IRON WITH CAP #39074 IN MON. BOX  
S38W 85.45' N&T IN SE FACE OF POWER POLE  
N46W 41.41' N&T IN SW FACE OF POWER POLE  
N58E 53.10' NW CORNER OF CONCRETE HEADWALL  
S40E 94.51' N&T IN NE SIDE OF POWER POLE

BEARINGS ARE REFERENCED TO MCS SOUTH ZONE, NAD83/CORS2011, DISTANCES REDUCED TO GROUND

**BELLOWS  
MESSENGER, LLC**

SECTION 23 T14N - R4W UNION TOWNSHIP  
ISABELLA COUNTY, MICHIGAN



**ROWE PROFESSIONAL  
SERVICES COMPANY**

127 S. Main Street  
Mt. Pleasant, MI 48858

O: (989) 772-2138  
F: (989) 773-7751  
www.rowepsc.com

PLOTTED: 3/16/2018 3:33 PM

R:\Projects\17M0053\Draw\Survey\SV-17M0053-CS.dwg

FIELD: SJS/JRH  
DRAWN: TLK  
CHECKED: JR  
DATE: MARCH 16, 2018  
REVISED:  
SHEET: 1 OF 1  
SCALE: 1" = 100'



JOB NO.: 17M0053





Peter Gallinat, Township Planner  
pgallinat@uniontownshipmi.com  
2010 South Lincoln  
Mt. Pleasant, MI 48858  
Phone 989-772-4600 Ext. 241  
Fax 989-773-1988

---

TO: Planning Commission  
FROM: Township Planner

**New Business**

**SUBJECT: C) REZ 2018-03 DeShano Development Corp..PID 14-035-10-006-03**

**Applicant:** DeShano Development Corp.

**Owner:** DeShano Development Corp.

**Location:** 5353 S. Mission Rd. PID 14-35-10-006-03 MT PLEASANT, MI 48858

**Current Zoning:** OS Office District and R-2A One and Two Family Low Density Residential.

**Adjacent Zoning:** B-4 to West. B-4/AG to the South, North, and AG to the East.

**Future Land Use/Intent:** Neighborhood Service: Located primarily along corridors adjoining lower intensity land uses, the intent of this district is to limit future retail and focus on small-scale personal service and office uses. This district accommodates shallow lots, providing a good buffer and transition to residential uses and limiting heavy commercial and general retail uses so they can be focused on other areas of the township. Rear yards adjoining residential areas should be well-screened to limit impacts of higher intensity uses. These areas should be accessible and comfortable for the pedestrian and should create a sense of place along the roadway.

**Current Use:** Mission Rd. Mini Storage

**Reason for Request:** Expand existing Mini Storage

**History:** Applicant desires to expand their Mini Storage Business. The first step is to request a rezone. Current parcel is split zone between B-4 and AG. Applicant proposed location of expansion to be rezoned to B-4. If approved the applicant will move to seek approval for a special land use and site plan as required for the project.

**Objective of board:** The Planning Commission shall submit the proposed amendment, along with its recommendation, to the Township Board for consideration within sixty (60) days from the conclusion of the public hearing.

**Recommend at this time to recommend approval of REZ 2018-03 to the Board of Trustees for the following reasons.**

- Expansion of existing special use and comports with new FLU Map

Peter Gallinat  
Twp Planner

APPLICATION FOR ZONING CHANGE  
CHARTER TOWNSHIP OF UNION  
ISABELLA COUNTY, MICHIGAN

APPLICATION NO. \_\_\_\_\_

DATE \_\_\_\_\_

A. I (WE) DeShano Development

Address 325 Commerce Court, Gladwin, MI 48624

Phone (989) 709-5962

hereby file an application with the Township Clerk's office to:

1. ☐ Add to or change the text of the Zoning Ordinance.
2. ☐ Change the district boundaries.
3. ☒ Re-zone the property from AG  
zoning classification to B-4  
zoning classification.

B. If this application is for a text amendment please describe in detail what you would like to change. Give section numbers and proposed changes, standards, and procedures.

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

C. If this application is for the re-zoning of property please provide a complete legal description.

T14N R4W, Section 35, commencing 390 ft. North of West 1/4 Corner, thence North 600 ft.; thence East, 1320 ft.; thence South, 765 ft. to a Point North 1d 2m 23s West, 225.03 ft., from Interior West 1/8 Line and East-West 1/4 Line; thence South 89d 33m 39s West, 432.68 ft.; thence West, 635 ft.; thence North, 165 ft.; thence West, 264 ft. to Point of Beginning. 21.71 Acres more or less.

D. If this application is for re-zoning please provide a complete common description. (address, cross roads, etc.)

Mission Street Mini Storage North of East Wing Road on South Mission Road

E. Please provide reasons for requesting text amendment or zoning change and include intended use of any land, buildings, or structures.

Expansion of existing Mini Storage Facility

F. Please provide a site plan for any property to be re-zoned following the requirements outlined in Section 12 of the Union Township Zoning Ordinance 1991-5.

G. List names and addresses of property owners lying within 300 feet of the property to be re-zoned. (use separate sheet)

H. List all or any easements or right-of-ways which have been granted said properties herein described.

South Mission Road Right-of-Way

CERTIFICATION:

I (WE) hereby certify that the afore information is accurate and assume responsibility for any error.

SIGNED:

[Signature]  
Applicant

5.11.18  
Date

\_\_\_\_\_  
Applicant

\_\_\_\_\_  
Date

\_\_\_\_\_  
Applicant

\_\_\_\_\_  
Date

\*\*\*\*\*

\*\* FOR OFFICE USE ONLY \*\*

Date application referred to Planning Commission \_\_\_\_\_

Date public hearing notice published \_\_\_\_\_

Date public hearing notice mailed \_\_\_\_\_

Planning Commission Action. \_\_\_\_ Adopted \_\_\_\_ Denied Date \_\_\_\_\_

Date referred to County Planning Commission \_\_\_\_\_

Township Board Action \_\_\_\_ Adopted \_\_\_\_ Denied Date \_\_\_\_\_

Remarks: \_\_\_\_\_

FEE \_\_\_\_\_ RECEIPT NO. \_\_\_\_\_

# Mission Mini Storage Expansion

## Prepared For

## DeShano Development Co.

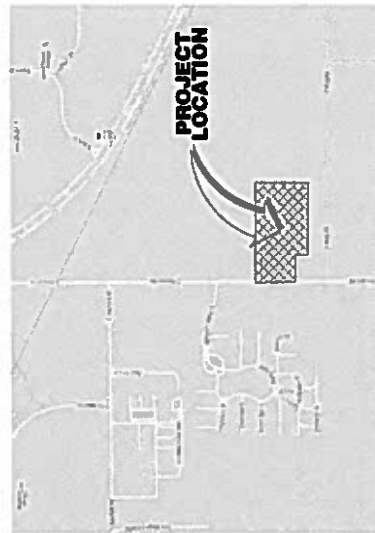
Section 35, Union Township, Isabella County, Michigan  
 SITE ADDRESS: 5353 S Mission Rd, Mt Pleasant, MI 48858

### Property Description:

TLN 1/4W, SEC 35, T34N 39P FT NGE W 1/4 COR, T34N 39P FT, TH E 1320 FT, TH S 765 FT, TO A PT N 10 34 25 S W, 225 03 FT, FROM INT W 1/4 LN AND E-W 1/4 LN, TH S 890 13M 39S W, 412 64 FT, TH W 655 FT, TH N 165 FT, TH W 364 FT TO COR 21 71 A ALL

### Sheet Index:

C-1	Cover Sheet
C-2	General Notes
C-3	Existing Topo
C-4	Demolition Plan
C-5	Site Plan
C-6	Site Details
C-7	Landscaping Plan
C-8	Landscaping Details
C-9	Utility Plan
C-10	Site Lighting / Photometric Plan
C-11	Grading Plan
C-12	Storm Water Management Plan



LOCATION MAP  
Map by Google

### Submission Table:

April 13, 2018	Submit initial preliminary site plans to City for their review. These plans are not to be used for construction.
----------------	---



Know what's below.  
 Call before you dig.

APPROVED USE FOR:  
☒ PRELIMINARY  
☐ CONSTRUCTION  
☐ FINAL RECORD

C-1

**LAPHAM ASSOCIATES**  
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 SURVEYING  
 118 South 2nd Street  
 West Branch, MI 48881  
 P (800) 245-6200  
 F (800) 245-7202  
 www.laphamassoc.com  
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**Cover Sheet**  
 Mission Mini Storage Expansion  
 Deshano Development Co.  
 125 Commerce Ct  
 Gladwin, MI 49824

PROJECT MANAGER: P. 10/20/18  
 DRAWN BY: G.S.M.  
 DATE: April 13, 2018  
 SCALE: N/A  
 REVISION DATE:  
 REVISION DESCRIPTION:  
 APPROVED BY: P. 10/20/18

## ABBREVIATIONS

## PLAN LEGEND

## Zoning Map

## FEMA Floodzone Map

## NWI Wetland Map

The contractor shall be responsible to review and be familiar with all portions of these plans. Any discrepancies between different portions of the plans shall be brought to the attention of the Engineer and shall be resolved prior to construction.

### **LIST OF ABBREVIATIONS**

[illegible]

## Definition

[illegible]

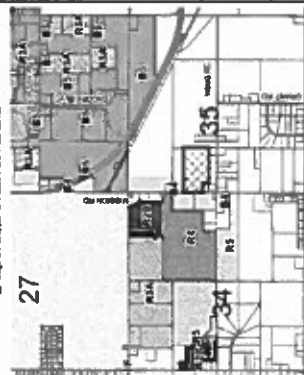
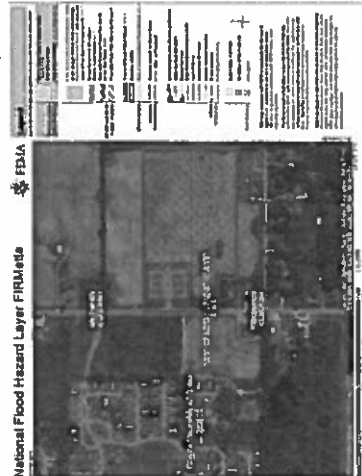
General Notes  
Mini Storage E  
Development  
325 Commerce Ct  
Gladwin, MI 49824

**Mission Mini Storage Expansion**  
Deshano Development Co.  
325 Commerce Ct  
Gladwin, MI 49624

**LAPHAM ASSOCIATES**  
Environmental Planning  
116 South 2nd Street  
West Branch, IA 50601  
P (562) 345-0020  
F (562) 345-7302  
www.laphamassociates.com  
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APPROVED USE FOR

- ☒ PRELIMINARY
- ☐ PERMIT/INB
- ☐ CONSTRUCTION
- ☐ FINAL RECORD

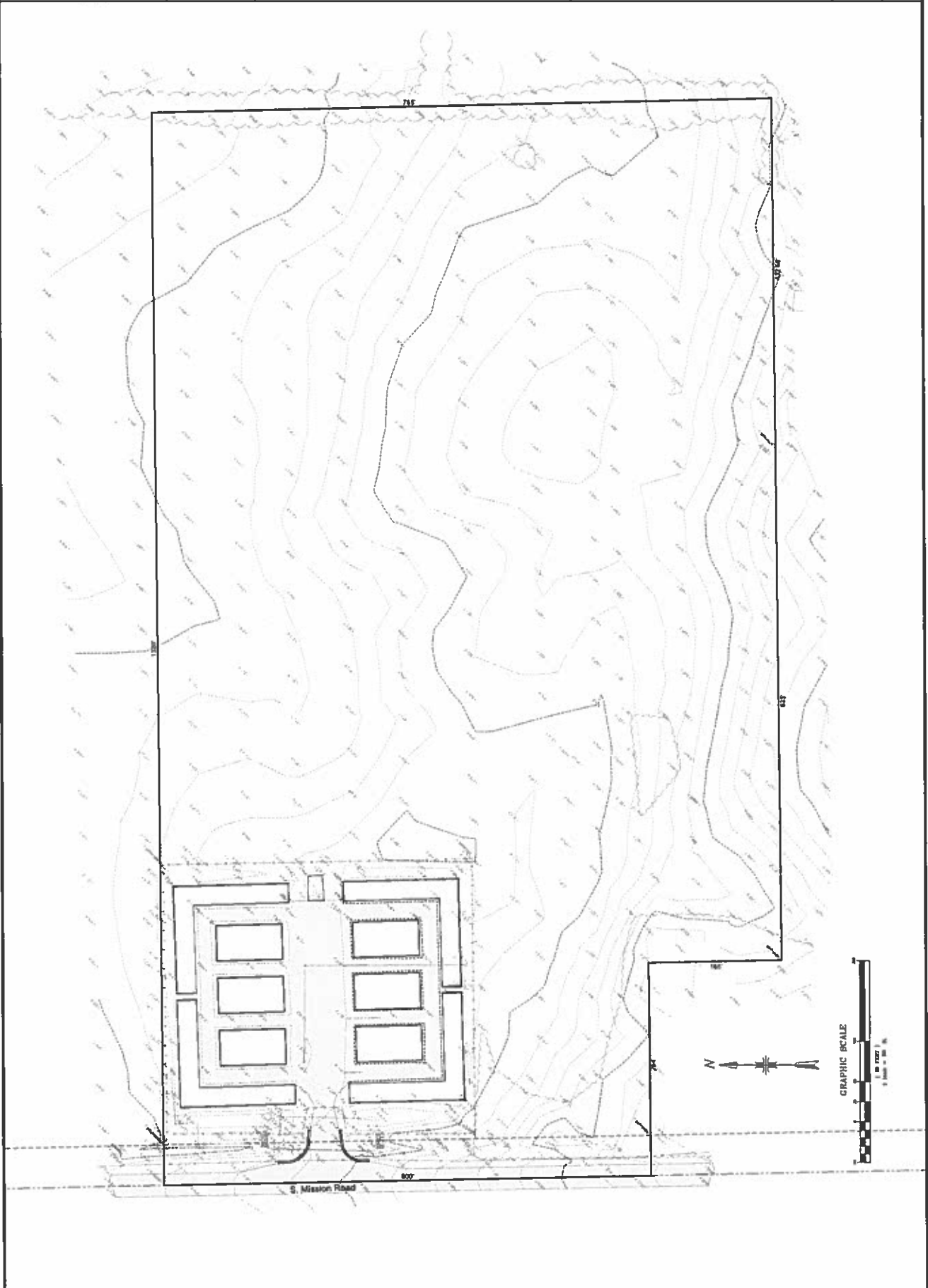


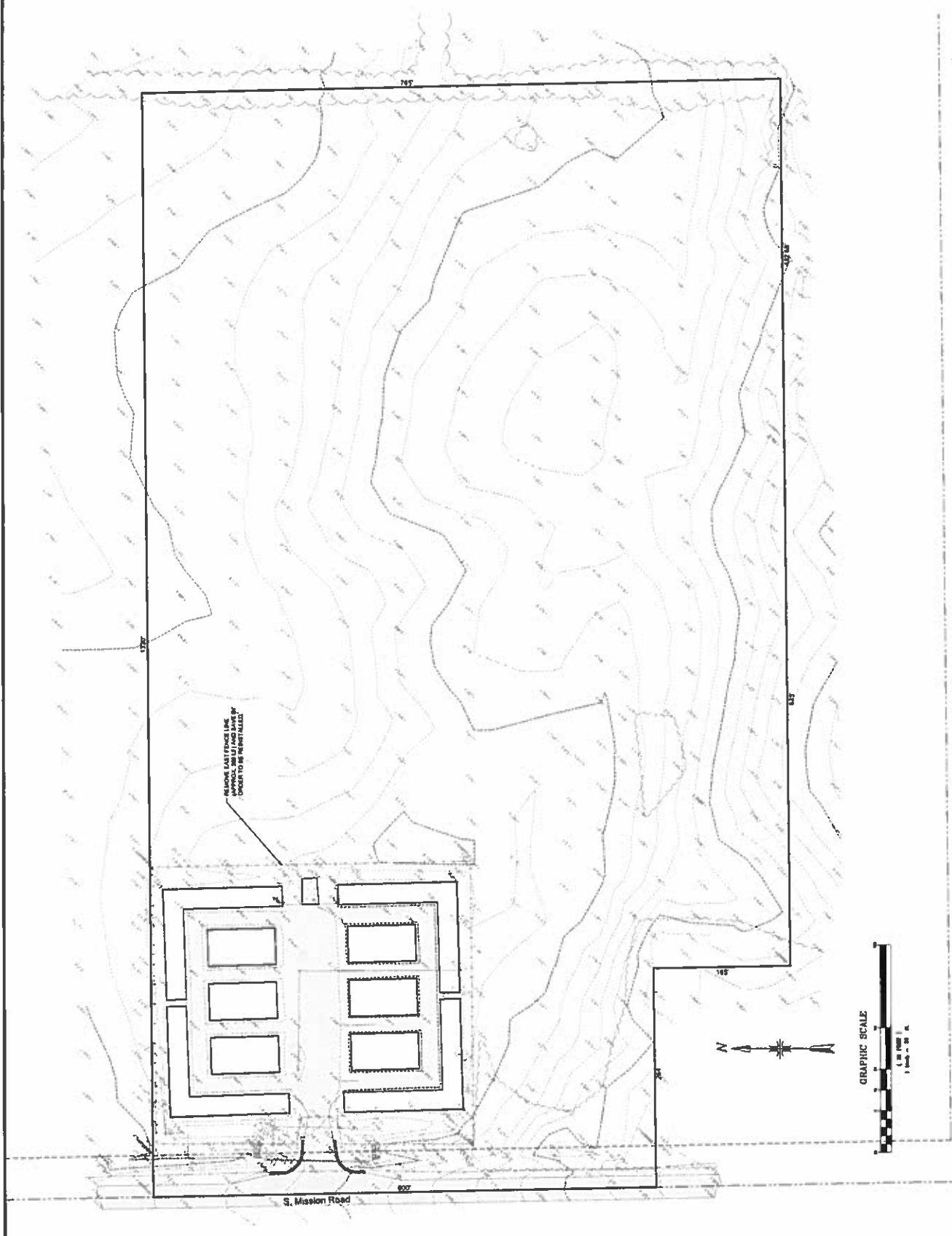
APPROVED USE FOR:  
 PRELIMINARY  
 PERMIT/PAID  
 CONTRACT/PAID  
 FINAL RECORD

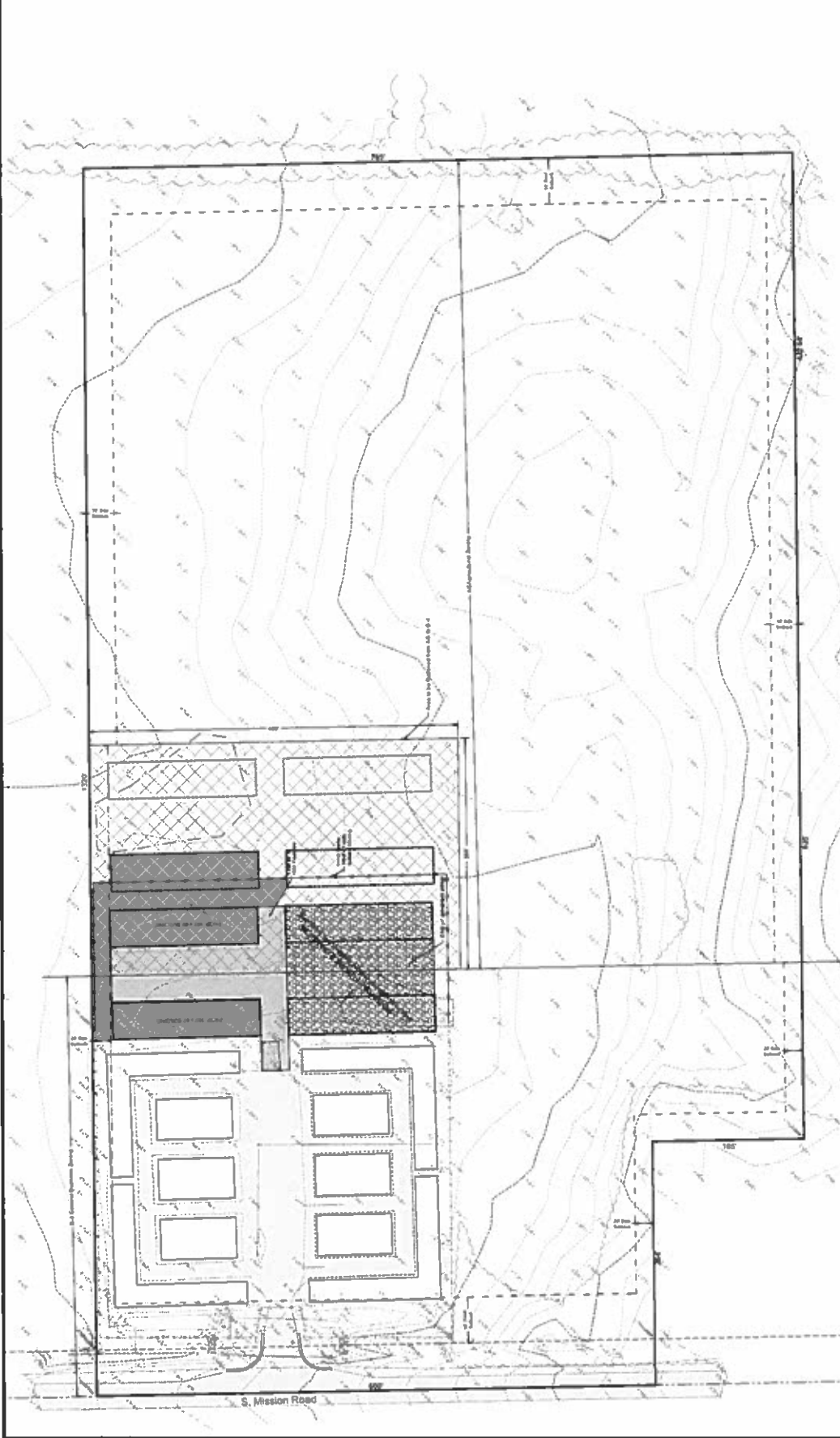
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 West Des Moines, IA 50301  
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**Site Topographic Survey**  
**Mission Mini Storage Expansion**  
**Deshano Development Co.**  
 325 Commerce Ct  
 Gladwin, MI 49624

PROJECT: Mission Mini Storage Expansion  
 DRAWN BY: E.E. BIRD  
 DATE: 4/11/2014  
 SCALE: 1" = 80'  
 NUMBERED DATE:  
 REVISIONS:  
 DESIGNED BY: E.E. BIRD  
 CHECKED BY: E.E. BIRD  
 DATE: 4/11/2014  
 SCALE: 1" = 80'  
 PROJECT: Mission Mini Storage Expansion  
 DRAWN BY: E.E. BIRD  
 DATE: 4/11/2014  
 SCALE: 1" = 80'





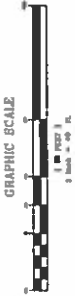


**Site Plan Notes:**

1. These plans and specifications are subject to modification during construction when conditions develop that were not depicted during the design and construction of these plans. All modifications must be approved by local jurisdiction prior to construction under the permit.
2. In the event of any discrepancy between any drawing and the figures within the plan, the figures shall be taken as correct.
3. Should it appear that the work to be done is in any manner different than that shown on these plans, the engineer shall notify the owner and the engineer for such further explanation as may be necessary.
4. Before commencement of work, the contractor shall remove all trees and vegetation and the job site. The contractor shall notify the owner and the engineer of any discrepancies that may require modification to these plans or of any third parties.
5. Contractor agrees to be responsible for any and all damages to the property, including liability for all persons and property. The responsibility for the safety of the job site and the safety of the property shall remain with the contractor. The contractor shall be responsible for any and all damages to the property, including liability for all persons and property. The contractor shall be responsible for any and all damages to the property, including liability for all persons and property.
6. Contractor shall obtain all necessary permits prior to commencing construction including signed-off, and for the construction, modification, or construction to existing. All construction, equipment and materials shall adhere to local jurisdiction standards and specifications.
7. Sheet of current applicable code requirements for parking, signage, setbacks, and zoning modifications as submitted depending on what is required.

**Zoning Notes:**

Developer:	Deshaano Development Co.												
Use:	Self-storage buildings allowed in B-4 District by Special Use (Sec. 22.2)												
Zoning:	Maped A2 & B-4												
Setbacks:	<table><tr><td></td><td>A2</td><td>B-4</td></tr><tr><td>Front</td><td>5'</td><td>5'</td></tr><tr><td>Side</td><td>5'</td><td>5'</td></tr><tr><td>Rear</td><td>5'</td><td>5'</td></tr></table>		A2	B-4	Front	5'	5'	Side	5'	5'	Rear	5'	5'
	A2	B-4											
Front	5'	5'											
Side	5'	5'											
Rear	5'	5'											
Height:	Proposed 1 Story (8'6") 25' Max. Allowed												





## UNION TOWNSHIP PUBLIC HEARING NOTICE -REZONING

NOTICE is hereby given that a Public Hearing will be held on Tuesday, May 15, 2018, at 7:00 p.m. at the Union Township Hall located at 2010 South Lincoln Road, Mt. Pleasant, Michigan, before the Union Township Planning Commission for the purpose of hearing any interested persons in the following request for a rezoning of 250' x 400' of property from AG (Agricultural) to B-4 (General Business District) as allowed by the Union Township Zoning Ordinance 1991-5 as amended.

Requested by **DeShano Development** a rezoning of 250' x 400' located on PID 14-035-10-006-03 from Ag and B-4

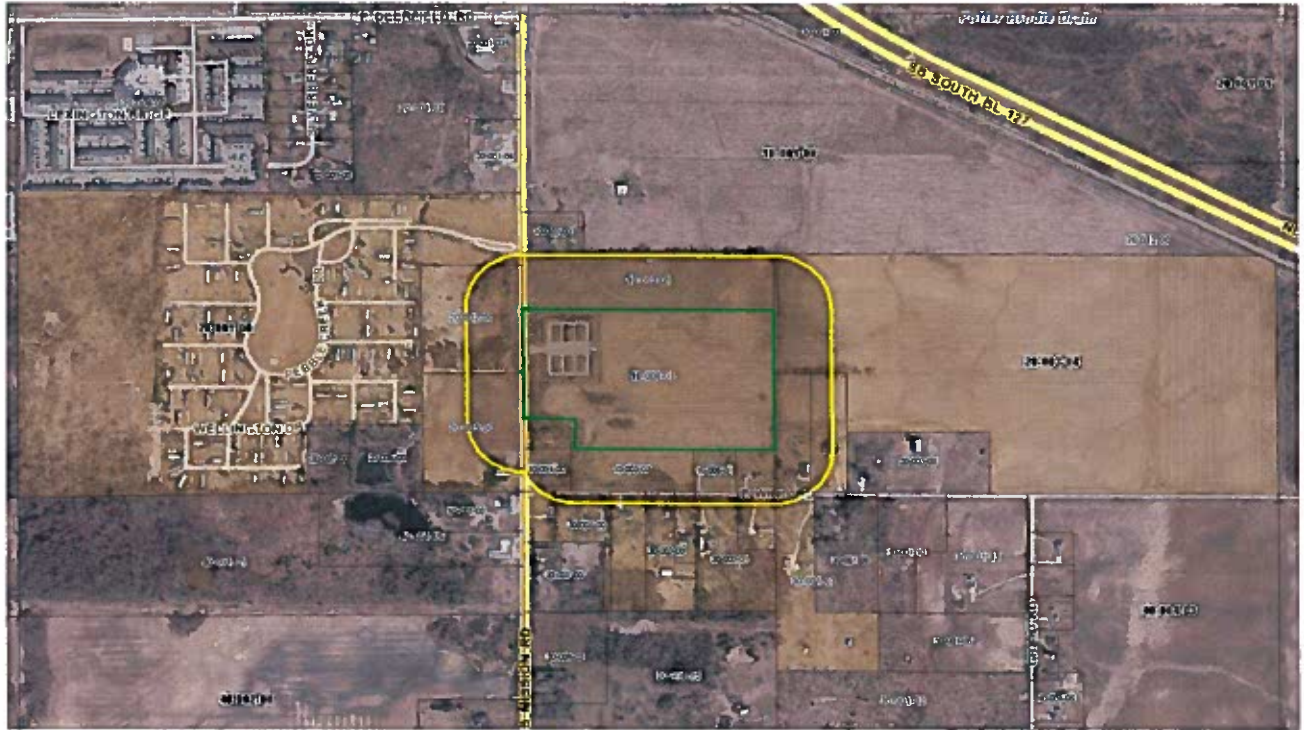
Legal Description of property: T14N R4W, Section 35, commencing 390 ft. North of West 1/4 Corner; thence North 600 ft.; thence East, 1320 ft.; thence South, 765 ft. to a Point North 1d 2m 23s West, 225.03 ft., from Interior West 1/8 Line and East-West 1/4 Line; thence South 89d 33m 39s West, 432.68 ft.; thence West, 635 ft.; thence North, 165 ft.; thence West, 264 ft. to Point of Beginning. 21.71 Acres more or less.

This property is located at: 5353 S. Mission Rd MOUNT PLEASANT, MI 48858  
PID 14-035-10-006-03

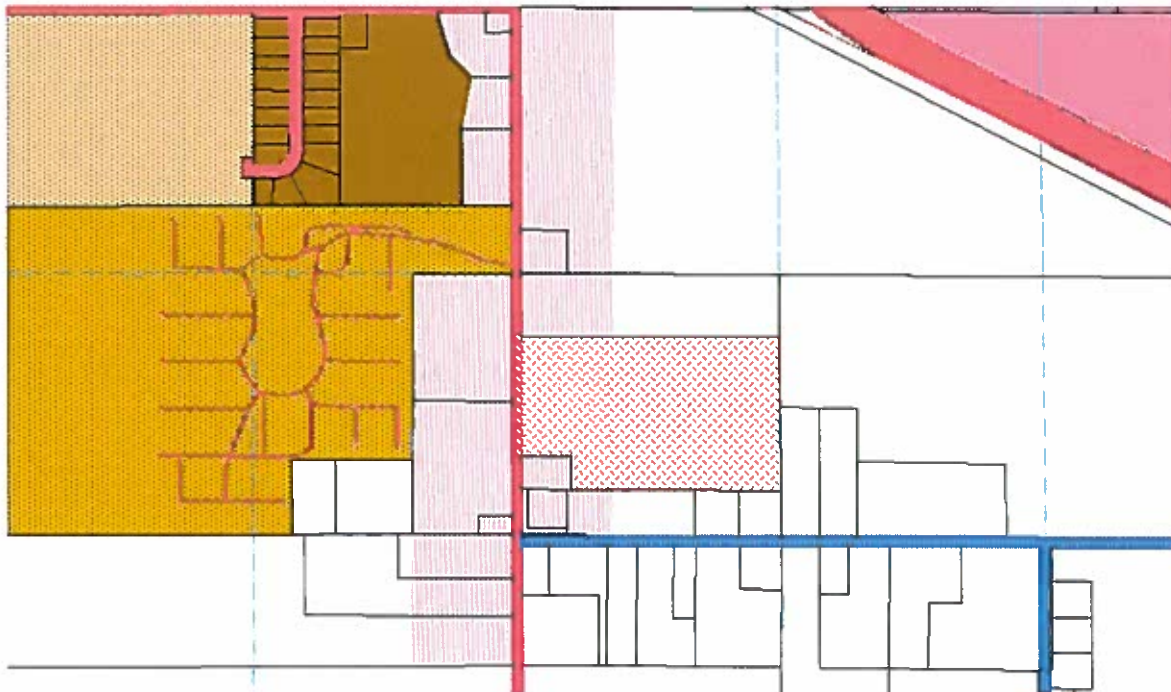
All interested persons may submit their views in person, in writing, or by signed proxy prior to the public hearing or at the public hearing.

All materials concerning this request may be seen at the Union Township Hall, located at 2010 S. Lincoln Road, Mt. Pleasant, Michigan, between the hours of 8:30 a.m. and 4:30 p.m., Monday through Friday. Phone (989) 772 4600 extension 241.

Peter Gallinat,  
Township Planner



The parcel highlighted with a green border represents 5353 S. Mission Rd. This property is seeking a rezone. The current zoning is split between B-4 (General Business District) and AG (Agricultural District). The B-4 (pink) is the frontage of the parcel. (As shown on map below) The yellow border around the subject property represents a 300ft radius. Property owners within that 300ft radius are notified of a public hearing for the rezoning. The applicant seeks to rezone an additional 250' x 400' of the current AG zone (white) to the B-4 zone (pink) in order to expand the existing mini storage business





Peter Gallinat, Township Planner  
pgallinat@uniontownshipmi.com  
2010 South Lincoln  
Mt. Pleasant, MI 48858  
Phone 989-772-4600 Ext. 241  
Fax 989-773-1988

TO: Planning Commission  
FROM: Township Planner

**New Business**

**SUBJECT: D) SPR 2018-05 Aldi Store Expansion. PID 14-026-40-001-18**

**Applicant:** Aldi Inc.

**Owner:** Aldi Inc.

**Location:** PID 14-026-40-001-18 4512 Bluegrass Rd. MT PLEASANT, MI 48858

**Current Zoning:** B-5 Highway Business District.

**Adjacent Zoning:** B-5 to the North, East, South and West.

**Future Land Use/Intent:** Bluegrass Center Area: While currently more auto-centric, this area has the potential to transition into a more walk able, vibrant center. Future uses should be integrated to include multi-story, mixed-use buildings; first floor retail and office uses; public use and spaces; entertainment and restaurant venues; and additional attached housing types such as townhouses. Both vehicular and pedestrian cross connections should be promoted between sites, providing for future connections through easements, and should collectively promote a vibrant, livable center to the neighboring university population.

**Current Use:** Existing Aldi food market

**Reason for Request:** Applicant proposes to expand existing building by 2,187SF.

**History:** Proposed site plan meets zoning as required for a B-5 zone property. At this time I have outside approvals from the Mt. Pleasant Fire Department, Isabella County Drain Office for Storm Water Management and the Isabella County Transpiration Commission, Isabella County Road Commission and the Township Utility Department.

**Objective of board:** Final site plan was received 14 days (05-01-2018) before our regular scheduled meeting on April 17, 2018. The Planning Commission shall study the site plan and shall, within sixty days of its submittal to the Zoning Official, either approve or disapprove the proposed site plan. If the site plan is disapproved, the reasons for disapproval shall be stated

**Recommend at this time to approve SPR 2018-05.**

Peter Gallinat  
Twp Planner

## Union Township Site Plan Review Application 2015 Revision

### FILL OUT THE FOLLOWING

- I. This application is for (circle one) Preliminary Site Plan Review Final Site Plan Review
- II. Applicant Name ALDI INC
- III. Applicant Address 2625 N. STOCKBRIDGE RD WEBBERVILLE, MI 48892
- IV. Applicant Phone 517-521-3907 Owner Phone 517-521-3907
- V. Applicant is (circle) Contractor Architect/Engineer Developer Land Owner (skip V& VI)  
Other
- VI. Land Owner Name ALDI INC
- VII. Land Owner Address 2625 N. STOCKBRIDGE RD WEBBERVILLE, MI 48892
- VIII. Project/Business Name ALDI FOOD MARKET #53 REMODEL & EXPANSION
- IX. Fill out check list that follows. You must check off that each item has been included in the drawing. If an item is not going to be included in the construction, note that in the comment area. For the first three items, check off if you have made the required submittals to other reviewing agencies.

SUBMITTALS TO OTHER AGENCIES		Off
Storm water management plan approval prior to application. Reviewed by the County Engineer	<input checked="" type="checkbox"/>	Copy of Union Township Storm Water Management Plan available upon request. Submit (2) copies of plan and calculations directly to the Isabella County Engineer, contact Bruce Rohrer at (989) 772 0911, ext. 231. Any review fees are additional.
All curb cuts, acceleration/deceleration lanes, additional drives, and other matters pertaining to roads to be approved by MDOT or Isabella County Road Commission prior to application.	<input checked="" type="checkbox"/>	MDOT (M 20, BR 127 sites) at (989) 773 7756. Contact Isabella County Road Commission (all other county roads) at (989) 773 7131. Submit (3) copies.
Mt. Pleasant Fire Dept.	<input checked="" type="checkbox"/>	Sgt Randy Keeler (989) 779-5122, (2) copies
Isabella Co Transportation Commission (ICTC)	<input checked="" type="checkbox"/>	Rick (989) 773 2913, (2) copies
<b>WELLHEAD PROTECTION REPORTING FORMS (Required for all Site Plans)</b>		
Hazardous Substances Reporting Form Part I and II (Forms included in this packet)	<input checked="" type="checkbox"/>	Kim Smith (989) 772-4600 ext 224 ksmith@uniontownshipmi.com
PERMIT INFORMATION - DEQ Check List	<input checked="" type="checkbox"/>	
<b>SITE PLAN REQUIREMENTS</b>		
Name and addresses of Property Owner	<input checked="" type="checkbox"/>	Comments - (also indicate any features which will not be included in the development or are not applicable)
Name and Address of Applicant	<input checked="" type="checkbox"/>	
Provide Construction Type (per Mi Building Code) and if sprinkled, (assume Type IVb, un-sprinkled if not provided)	<input checked="" type="checkbox"/>	TYPE VB

## Union Township Site Plan Review Application 2015 Revision

The date, north arrow and scale. The scale shall be not less than 1"= 20' for property under three (3) acres and not more than 1"=40' for property greater than three acres.	✓	
All lot and/or property lines are to be shown and dimensioned, including building setback lines	✓	
The location and dimensions of all existing and proposed:	✓	
fire hydrants (within 400 feet of building) - - - -	✓	
drives, -----	✓	
sidewalks, (required ) -----	✓	
curb openings, -----	✓	
acceleration/deceleration lanes, -----	✓	
signs, -----	✓	
exterior lighting on buildings and parking lots, - -	✓	
parking areas (Including handicapped parking spaces, barrier-free building access, unloading areas), -----	✓	
recreation areas, -----	✓	NONE
common use areas, -----	✓	NONE
areas to be conveyed for public use and purpose. -	✓	NONE
Elevation of building front, side, and back. Include Sign size, height, and design. Canopy heights extending over driveways accommodate Public Transportation	✓	
Source of utilities. Public water and sewer approval by Union Township Utility Coordinator prior to application.	✓	Note: Union Township policy is to issue sewer and water permits after application for a building permit. Applicant is advised to contact the utility department for availability prior to site plan review. The township does not coordinate other utility matters. Applicant to assure himself that site is suitable for septic systems, contact Central Michigan District Health Department
All dumpsters shall be screened from public view with an opaque fence or wall no less than six feet in height. Show location. (Note most refuse contractors require concrete pad to place dumpsters upon)	✓	
The location and right-of-way width of all abutting roads, streets, alleys and easements.	✓	
A locational sketch drawn to scale giving the section number and the nearest crossroads.	✓	



# Union Township Site Plan Review Application 2015 Revision

The zoning of the subject property and the abutting properties.	✓	
The location, height and type of fences and walls.	✓	NONE
The location and detailed description of landscaping.	✓	
For multiple family and mobile home parks, contour intervals shall be shown (two foot intervals for average slopes ten percent and under and five foot intervals for slopes over ten percent). Topography, however, is encouraged to be shown on all site plans.	N/A	
The location of all existing and proposed structures on and within one hundred feet of the subject property's boundary.	✓	
For apartments, provide a count of bedrooms per building and total count of bedrooms for the project.	N/A	

### APPLICANT COMMENTS

[illegible]

## Union Township Site Plan Review Application 2015 Revision

I submit the site plan and this application as a true representation of existing and proposed conditions. I agree to install all features as shown and to abide by conditions placed upon approval of this plan by the Union Township Planning Commission. False or inaccurate information placed upon this plan may be cause for revocation of any permits issued pursuant to site plan approval and / or removal of work installed. Any changes to the Site Plan now or in the future must be approved by the Union Township Planning Commission or Zoning Administrator. Approval of this plan shall not constitute the right to violate any provisions of the Union Township Zoning Ordinance 1991-5, or other applicable building or state codes and or laws.

  
Signature of Applicant

2/9/18  
Date

\_\_\_\_\_  
Signature of Owner (if other than applicant)

\_\_\_\_\_  
Date

PLEASE PLACE OUR REVIEW ON THE MAY 15, 2018 (INSERT DATE)  
PLANNING COMMISSION MEETING. An owners representative WILL / WILL NOT attend. You will not receive a reminder of the scheduled meeting.

**Union Township Site Plan Review Application** 2015 Revision

<u>Township use</u>	<u>Review Comments</u>
File # _____	_____
Fee Paid initial _____	_____
Receipt # _____	_____
Date received _____	_____
Date review completed by Zoning Administrator _____	
Place on the _____ Planning Commission Agenda	
Planning Commission Decision _____	_____



# CHARTER TOWNSHIP OF UNION

## SITE PLAN REVIEW HAZARDOUS SUBSTANCES REPORTING FORM

This form must be completed and submitted as part of the site plan for facilities which may use, store, or generate hazardous substances or polluting materials (including petroleum-based products)

Name of business: Aldi, Inc. Michigan

Name of business owner(s): 2625 N. Stockbridge Rd

Street and mailing address: Webberville, MI 48892

Telephone: 517-521-3907

Fax: 517-521-3953

Email: David.Kapusansky@aldi.us

**I affirm that the information submitted is accurate.**

Owner(s) signature and date:

David Kapusansky

Information compiled by:

David Kapusansky

## Part 1: Management of Hazardous Substances and Polluting Materials

1. Y (N) Will the proposed facility store, use or generate hazardous substances or polluting materials (including petroleum-based products) now or in the future? If yes, please complete this form and submit with your site plan. A catalogue and map of natural resources on and near the site, including an assessment of groundwater vulnerability is required to be submitted with your plan.
2. Y (N) Will the hazardous substances or polluting materials be reused or recycle on-site?
3. Y (N) Will any hazardous substances or polluting materials be stored on-site? If yes, identify the storage location on the site plan. Describe the size and type of secondary containment structure here or on an attached page. Submit a map and/or diagram of facilities on the site related to groundwater protection, including secondary containment structures, loading/unloading areas, drinking water wells, septic systems, underground storage tanks and storm drain inlets.
4. Y (N) Will the new underground storage tanks be located less than 2000 feet from a drinking water well serving more than a single household?
5. Y (N) Are existing underground storage tanks on-site less than 200 feet from a drinking water well serving more than a single household?  
  
If the answer to questions 4 or 5 are yes, you may be in violation of the State of Michigan underground storage tank regulations . For specific requirements, please contact the MDEQ Underground Storage Tank Division. District Office Telephone: 989-894-6200 (Saginaw Bay District Office)
6. Y (N) Will the interior of the facility have general purpose floor drains? (general purpose floor drains should not be connected to a sanitary sewer system, stormwater drainage system, dry well or septic system). If yes, will the floor drain connect to: (circle one)  
  
a. on-site holding tank  
b. on-site system  
  
The on-site system must be approved by the MDEQ.  
Contact: MDEQ Waste Management Division.  
District Office telephone: 989-894-6200 (Saginaw Bay District Office)
7. Y (N) Will hazardous substances or polluting materials be stored, used, or handled out-of doors near storm drains which discharge to lakes, streams, or wetlands? If yes, describe the type of catch basin or spill containment facilities which will be used (use an attached sheet with diagram if appropriate).

cc: Charter Township of Union Department of Public Works

## Part II: Types and Quantities of Hazardous Substances and Polluting Materials Used, Stored or Generated On-Site

Please list the hazardous substances and polluting materials (including chemicals, hazardous materials, petroleum products, hazardous wastes and other polluting materials) which are expected to be used, stored or generated on -site. Quantities should reflect the maximum volumes on hand at any time. Attach additional pages if necessary to list all hazardous substances and polluting materials.

Common Name	CHEMICAL NAME (components)	Form	MAX QUANTITY ON HAND AT ONE TIME	TYPE OF STORAGE CONTAINERS
	<b>KEY:</b> LQ. = liquid P.LQ. = pressurized liquid S = solids G = gas PG = pressurized gas			<b>KEY:</b> AGT = above ground tank = drums UGT = underground tank Cy = cylinders CM = metal cylinders OW = wooden or composition container TP = portable tank



## PERMIT INFORMATION

[www.michigan.gov/deqpermits](http://www.michigan.gov/deqpermits)

The Department of Environmental Quality (DEQ) has prepared a list of key questions to help identify what DEQ permits, licenses, or approvals of a permit-like nature may be needed. By contacting the appropriate offices indicated, you will help reduce the possibility that your project or activity will be delayed due to the untimely discovery of additional permitting requirements later in the construction process. While this list covers the existence of permits and approvals required from the DEQ, it is not a comprehensive list of all legal responsibilities. A useful way to learn whether other requirements will apply is to go through the Self-Environmental Assessment in the Michigan Guide to Environmental, Health, and Safety Regulations, online at: <http://www.michigan.gov/ehsguide>. Please call the Environmental Assistance Center at 800-662-9278 to talk with any of the DEQ programs noted below.

KEY QUESTIONS:	Yes <input type="checkbox"/>	No <input type="checkbox"/>	PROGRAM WEBPAGE AND CONTACTS
<b>MISCELLANEOUS CONSTRUCTION</b>			
<b>Air Quality Permit to Install:</b> Will your business involve the installation or construction of any process equipment that has the potential to emit air contaminants (e.g. dry sand blasting, boilers, standby generators)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Air Quality Division (AQD), <u>Permit Section</u>
<b>Asbestos Notification:</b> Does the project involve renovating or demolishing all or portions of a building? Notification is required for asbestos removal and required for all demolitions even if the structure never contained asbestos.	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>	AQD, <u>Asbestos Program</u>
<b>Land and Water Featured Programs (Water Resources Division) - USACE Consolidated Permits:</b> Please consult the <u>Land and Water Management Decision Tree</u> document to evaluate whether your project needs a land and water management permit (i.e., Does the project involve filling, dredging, placement of structures, draining, or use of a wetland?).	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Water Resources Division (WRD), <u>Joint Permit Application</u>
<b>Soil Erosion and Sedimentation Control:</b> Does the project involve an earth change activity (including land balancing, demolition involving soil movement, and construction)?	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>	<u>Soil Erosion and Construction Storm Water</u> , or Contact your <u>Local Agency</u>
<b>NPDES Storm Water Discharge from Construction Sites Notice of Coverage:</b> Does the project involve construction which will disturb one or more acres that come into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	NPDES <u>Storm Water Permits Program</u> , or appropriate <u>DEQ District Office</u>
<b>Public Swimming Pool Construction (Spas/Hot Tubs) Permits:</b> Will your business involve the construction or modification of a public swimming pool, spa or hot tub?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>Public Swimming Pool Program</u> , or appropriate <u>DEQ District Office</u>
<b>Threatened and Endangered Species:</b> Does the project involve activities that would destroy a protected species of plant or animal or disturb a protected animal species?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Endangered Species Assessment, <u>Threatened and Endangered Species Program</u> , 517-373-1552
Does the project involve <i>construction</i> or alteration of any sewage collection or treatment facility?	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>	Appropriate <u>District Office</u> , WRD, Part 41 Construction Permit Program
Does the project involve construction of a facility that landfills, transfers, or processes of any type of <i>solid non-hazardous waste</i> on-site, or places <i>industrial residuals/sludge</i> into or onto the ground?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Office of Waste Management and Radiological Protection (OWMRP), <u>Solid Waste</u> , Appropriate <u>DEQ District Office</u>
Does the project involve the construction of an on-site treatment, storage, or disposal facility for <i>hazardous waste</i> ?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	OWMRP, Hazardous Waste Section, <u>Treatment, Storage and Disposal</u>
<b>WATER SUPPLY (More information, see: <a href="http://www.michigan.gov/deqwater">http://www.michigan.gov/deqwater</a>, select "drinking water")</b>			
I am buying water from my community water supply (i.e. city of Detroit or Grand Rapids)	Y <input checked="" type="checkbox"/>	N <input type="checkbox"/>	Contact your <u>Local Water Utility</u>
I have a private or other water supply well (Type III)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	Contact your (District or County) <u>Local Health Department</u>
I have a Non-Community Water Supply (Type II)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>Guide</u> , Contact your (District or County) <u>Local Health Department</u>
I am a community water supply (Type I)	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/>	<u>Community Water Supply</u> , <u>DEQ District Office Community Water Supply Program</u>

WASTEWATER MANAGEMENT		
<b>Storm Water Discharge to Wetlands:</b> Will storm water be collected, stored, or treated in a wetland area from a public road, industrial, commercial, or multi-unit residential development?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
<b>Great Lakes:</b> Does the project involve construction, filling, or dredging below the Ordinary High Water Mark of one of the Great Lakes?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
<b>Inland Lakes and Streams:</b> Does the project involve any dredging, filling, placement of structures, or the operation of a marina within an inland waterbody (e.g. lake, river, stream, drain, creek, ditch, or canal), enlargement of a waterbody, or excavation of a pond within 500 feet of a waterbody?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
<b>Storm Water Ponds and Discharges to Inland Lakes/Streams, or Great Lakes:</b> Will storm water from any road or any other part of the development be discharged either directly or ultimately to an inland waterbody, or one of the Great Lakes; or will a storm water pond be constructed within 500 feet of an inland waterbody?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
Does the project involve placement of fill, earth moving, or placement of structures within the 100-year floodplain of a watercourse?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, <u>Joint Permit Application</u>
Does the project involve construction of a building or septic system in a designated Great Lakes high risk erosion area?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, <u>Shoreland Management</u>
Does the project involve dredging, filling, grading, or other alteration of the soil, vegetation, or natural drainage, or placement of permanent structures in a designated environmental area?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, <u>Shoreland Management</u>
Does the project propose any development, construction, silvicultural activities or contour alterations within a designated critical dune area?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, <u>Sand Dune Management</u>
Does the project involve construction of a dam, weir or other structure to impound flow?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, <u>Dam Safety Program</u>
CONSTRUCTION PERMITS (SECTOR SPECIFIC)		
Does the project involve the construction or alteration of a water supply system or sewage disposal system for a manufactured housing project?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	Office of Drinking Water & Municipal Assistance (ODWMA)
Does the project involve a subdivision or site condominium project utilizing individual on-site subsurface disposal systems or individual wells?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	ODWMA
Does the project involve the construction or modification of a campground?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	ODWMA, <u>Campgrounds program</u>
Does the project involve the construction or modification of a public swimming pool?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	ODWMA, <u>Swimming pools program</u>
OPERATIONAL PERMITS		
<b>Renewable Operating Permit:</b> Does your facility have the potential to emit any of the following: 100 tons per year or more of any criteria pollutant; 10 tons per year or more of any hazardous air pollutant; or 25 tons per year or more of any combination of hazardous air pollutants?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	AQD, <u>Permit Section</u>
<b>NPDES:</b> Does the project involve the discharge of any type of wastewater to a storm sewer, drain, lake, stream, or other surface water?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, Appropriate <u>DEQ District Office</u> , or <u>National Pollutant Discharge Elimination (NPDES) Permit Program</u>
Does the facility have industrial activity that comes into contact with storm water that enters a storm sewer, drain, lake, stream, or other surface water?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, <u>Permits Section</u> , or appropriate <u>DEQ District Office</u>
Does the project involve the discharge of wastewaters into or onto the ground (e.g. subsurface disposal or irrigation)?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, <u>Groundwater Permits Program</u>
Does the project involve the drilling or deepening of wells for waste disposal?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	Office of Oil, Gas and Minerals (OOGM)
Does the project involve landfilling, transferring, or processing of any type of solid non-hazardous waste on-site, or placing industrial residuals/sludge into or onto the ground?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	<u>OWMRP</u> or Appropriate <u>DEQ District Office</u>



Does the project involve the on-site treatment, storage, or disposal of hazardous waste?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OWMRP, <u>Hazardous and Liquid Waste</u>
Does the project require a site identification number (EPA number) for regulated waste activities (used oil, liquid waste, hazardous waste, universal waste, PCBs)? ( <u>Web Site</u> )	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OWMRP, Appropriate <u>DEQ District Office</u>
Does the project involve the receipt, possession, manufacture, use, storage, transport, transfer, release, or disposal of radioactive material in any form?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OWMRP, <u>Radioactive Material and Standards Unit</u>
Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OWMRP <u>Radioactive Material and Standards Unit</u>
Do you desire to develop a withdrawal of over 2,000,000 gallons of water per day from any source other than the Great Lakes and their connecting waterways? Or, do you desire to develop a withdrawal of over 5,000,000 gallons of water per day from the Great Lakes or their connecting waterways?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, DWEHS, <u>Source Water Protection Unit</u>
<b>CHEMICAL ADDITION PROJECTS</b>		
Are you using chemicals or materials in, or in contact with, drinking water at any point in the water works system?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, Appropriate <u>DEQ District Office, Public Water Supply Program</u>
Are you applying a chemical treatment for the purpose of aquatic nuisance control (pesticide/herbicide etc) in a water body (i.e. lake, pond or river)? (5.	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, <u>Aquatic Nuisance Control and Remedial Action Unit</u>
Are you applying materials to a water body for a water resource management project (i.e. mosquito control treatments, dye testing, or fish reclamation projects)?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, <u>Surface Water Assessment Section</u>
<b>OPERATIONAL PERMITS (SECTOR SPECIFIC)</b>		
Does the project involve the transport of some other facility's non-hazardous liquid waste?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OWMRP, <u>Transporter Program</u>
Does the project involve the transport hazardous waste?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OWMRP, <u>Transporter Program</u>
Does your facility have an electric generating unit that sells electricity to the grid and burns a fossil fuel?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	AQD, <u>Acid Rain Permit Program</u>
Is the project a dry cleaning establishment utilizing perchloroethylene or a flammable solvent in the cleaning process?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	DEQ, AQD, <u>Dry Cleaning Program</u>
Does your laboratory test potable water as required for compliance and monitoring purposes of the Safe Drinking Water Act?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	DEQ, <u>Laboratory Services Certifications</u>
Does the project involve the generation of medical waste or a facility that treats medical waste prior to its disposal?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OWMRP, <u>Medical Waste Regulatory Program</u>
Does the project involve transport of septic tank, cesspool, or dry well contents or the discharge of septage or sewage sludge into or onto the ground?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	ODWMA, <u>Septage Program</u>
Do you store, haul, shred or process scrap tires?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	OWMRP, <u>Scrap Tire Program</u>
Does the project involve the operation of a public swimming pool?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	ODWMA, <u>Public Swimming Pools Program</u>
Does the project involve the operation of a campground?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	ODWMA, <u>Campgrounds</u>
Do you engage in the business of hauling bulk water for drinking or household purposes (except for your own household use)?	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	ODWMA, <u>Water Hauler Information</u>
<b>PERSONAL LICENSES/CERTIFICATIONS</b>		
Are you designated by your facility to be the Certified Operator to fulfill the requirements of a wastewater discharge permit (NPDES including Storm	Y <input type="checkbox"/> N <input checked="" type="checkbox"/>	WRD, <u>Operator Training, Storm Water Program</u>

<b>Water or Groundwater)?</b>		
Are you a drinking water operator in charge of a water treatment or water distribution system, back-up operator, or shift operator?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/> WRD, <u>Operator Training</u>
Are you a water-well drilling contractor, pump installer, dewatering well contractor or dewatering well pump installer?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/> WRD, <u>Well Construction Unit</u>
<b>OIL, GAS AND MINERALS</b>		
Do you want to operate a central production facility (applies to oil and gas production facilities where products of diverse ownership are commingled)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/> OOGM, <u>Petroleum Geology and Production Unit</u>
Does the project involve the removal of sand from a sand dune area within two (2) miles of a Great Lakes shoreline?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/> OOGM, Minerals and Mapping Unit, <u>Sand Dune Mining Program</u>
Does the project involve the diversion and control of water for the mining and processing of low-grade iron ore?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/> OOGM, <u>Minerals and Mapping</u>
Does the project involve the surface or open-pit mining of metallic mineral deposits?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/> OOGM, <u>Minerals and Mapping</u>
Does the project involve the mining of nonferrous mineral deposits at the surface or in underground mines?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/> OOGM, <u>Minerals and Mapping</u>
Does the project involve mining coal?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/> OOGM, <u>Minerals and Mapping</u>
Do you want to change the status of an oil or gas well (i.e. plug the well)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/> OOGM, <u>Permits and Bonding Unit</u>
Does the project involve drilling of oil, gas, brine disposal, secondary recovery, or hydrocarbon storage wells?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/> OOGM, <u>Permits and Bonding Unit</u>
Does the project involve plugging or deepening of an oil or gas well, or conveying rights in the well as an owner to another person?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/> OOGM, <u>Permits and Bonding Unit</u>
Does the project involve changing the status or plugging of a mineral well?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/> OOGM, <u>Minerals and Mapping</u>
Does the project involve the drilling or deepening of wells for brine production, solution mining, storage, or as test wells?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/> OOGM, <u>Minerals and Mapping</u>
Does the project involve decommissioning or decontamination of tanks, piping, and/or appurtenances that may have radioactive levels above background?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/> OWMRP, <u>Radioactive Protection Programs</u>
<b>STORAGE TANKS (CONSTRUCTION AND OPERATION)</b>		
Does the project involve the installation of an aboveground storage tank for a flammable or combustible liquid (under 200 degrees Fahrenheit)?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/> Michigan Department of Licensing and Regulatory Affairs (DLARA) - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation of a compressed natural gas dispensing station with storage?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/> DLARA - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation of a liquefied petroleum gas container filling location or storage location that has a tank with a capacity of more than 2,000 gallons or has two (2) or more tanks with an aggregate capacity of more than 4,000 gallons?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/> DLARA - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation, removal, or upgrade of an underground storage tank containing a petroleum product or a hazardous substance?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/> DLARA - <u>Storage Tank Unit, 517-335-7211</u>
Does the project involve the installation of a hydrogen system?	Y <input type="checkbox"/>	N <input checked="" type="checkbox"/> DLARA - <u>Storage Tank Unit, 517-335-7211</u>



2010 South Lincoln Road  
Mt. Pleasant, MI 48858

Phone (989) 772 4600 ext. 224  
Fax (989) 773 1988  
E Mail [ksmith@uniontownshipmi.com](mailto:ksmith@uniontownshipmi.com)

April 24, 2018

Mr. Christopher A Grzenkowicz  
Desine Inc.  
2183 Pless Drive  
Brighton MI 48114

RE: Aldi Food Market #53  
Sanitary Sewer Review

Dear Mr. Grzenkowicz:

Union Township received the proposed public sanitary sewer plans for the Aldi Food Market located in Union Township on April 9, 2018.

Our comments on the sewer main design are as follows:

**Sewer:**

- Sheet UT1 – Utility Note 4 – The existing sanitary manhole castings and covers that are to be salvaged for re-use shall be inspected and reuse approved by Union Township.
- Sheet UT1 – Utility Note 5 – Note that work will be performed between 8 – 4 Monday – Friday and bypass pumping is required. Union Township must be present for all work including bypass pumping for inspection.
- Sheet UT1 – Existing Manhole B flow channel needs be adjusted to accommodate connection into this manhole.
- Add Utility Note to indicate sanitary sewer must be installed in accordance with Township Specifications as well as MDEQ Requirements. Township Specifications can be found at [www.uniontownshipmi.com](http://www.uniontownshipmi.com).
- Add Utility Note that installation requires inspection by Union Township which must be scheduled at least 72 hours in advance by calling 989-772-4600 ext. 224.



Relocation of sanitary sewer main is being done as part of the public sewer system and will require a State of Michigan Part 41 Permit. This project is required to be submitted to the MDEQ for review and approval. Provide Union Township with six sets of full size revised plans, sealed by a State of Michigan licensed engineer, as well as a completed State of Michigan Part 41 Permit.

If you have any questions please call 989-772-4600 ext. 224.

Sincerely,

A handwritten signature in black ink that reads "Kim Smith". The signature is written in a cursive, flowing style.

Kim Smith

Public Works Coordinator



**Mount Pleasant Fire Department**  
**804 E. High Street**  
**Mount Pleasant, MI 48858**

**Union Township Site Plan Review**

**Tuesday April 10, 2018**

**ALDI Food Market**

**4512 E Bluegrass RD**

**Mt. Pleasant, MI 48858**

A Site Plan Review was conducted on Tuesday April 10, 2018 and revealed the following requirements listed below.

ORDER TO COMPLY: Since these conditions are contrary to code, you must correct them upon receipt of this notice. Please provide our department the documentation that verifies compliance with the code.

This list shall not be considered all-inclusive, as other requirements may be necessary, additional requirements are located in Chapter 5 and appendixes B, C, and D of the 2012 Edition of the International Fire Code.

If you have any questions regarding this matter, please feel free to contact me at (989) 779-5122.

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**Violation Code**

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**1 PROPERTY Identification**

Aldi Food Market

4512 E. Bluegrass Rd.

2,187 square feet expansion to existing building.

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**ACCESS AND WATER Road and Water Supply**

When fire apparatus access roads or water supply for fire protection is required to be installed, such protection shall be installed and made serviceable prior to and during the time of construction except when approved alternative methods of protection are provided. Temporary street signs shall be installed at each street intersection when construction of new roadways allows passage by vehicles in accordance with Section 505.2 of the 2012 Edition of the International Fire Code.

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**ACCESS ROAD 150 FT Buildings within 150ft of Access Road**

All portions of a building are required to be within 150 feet of an approved Fire Department access road, in accordance with Chapter 5, Section 503.1.1 of the 2012 Edition of the International Fire Code.

Site Plan meets requirement above.

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## Union Township Site Plan Review

### ACCESS ROAD LOAD Designed and Maintained to Support the

All fire apparatus access roads shall be designed and maintained to support the imposed loads of fire apparatus and shall be surfaced so as to provide all-weather driving capabilities in accordance with Chapter 5, Sections 503.2.3 and 503.4 of the 2012 Edition of the International Fire Code.

### FDC MAINTENANCE FDC Maintained and Unobstructed

Immediate access to fire department connections shall be maintained at all times and without obstruction by fences, bushes, trees, walls or any other fixed or moveable object. Access to fire department connections shall be approved by the fire chief as in accordance with Chapter 9, Section 912.3 of the 2012 Edition of the International Fire Code.

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### ACCESS ROAD W/HYDRANT Width of Road with a Fire Hydrant

Where a fire hydrant is located on a fire department apparatus access road, the minimum road width shall be 26 feet, exclusive of shoulders as in accordance with Appendix D, Section D103.1 of the 2012 Edition of the International Fire Code.

Site Plan meets requirements above.

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### WATER SUPPLY (SPACING) Number and Spacing of Hydrants

Provide fire hydrant locations in accordance with Chapter 5, Section 507.5.1 of the 2012 Edition of the International Fire Code. The number and spacing of fire hydrants is based on the construction type and square footage of the building in accordance with Appendix B and C and tables B105.1 and C105.1 of the 2012 Edition of the International Fire Code.

Total building area 18,144 sq. ft. 3000pgm required - 50% reduction for sprinkled building = 1500pgm. Site plan meets required number and spacing of hydrants.

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**Keeler, Randy**  
**Lieutenant**  
**Mount Pleasant Fire Department**

**S**am **B**er **E**ngineering

Bruce E. Rohrer, P.E.  
957 Morcy Drive  
Mt. Pleasant, Michigan 48883  
(989) 330-2150

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April 13, 2018

Peter Galliant  
Charter Township of Union Planner  
2010 S. Lincoln Road  
Mt. Pleasant, MI 48858

RE: Storm Water Management Plan for Proposed Expansion ALDI, Inc. Food Market #53

Dear Mr. Galliant:

I have reviewed the Storm Water Management Plan prepared by DESINE Inc, Engineer/Surveyor, Brighton, MI, for the above captioned project located in part of the NW ¼ of SE ¼ of Section 26, Union Township, located at 4512 E. Bluegrass Road. The Lands occupied by ALDI, Inc. were included in the original Storm Water Management Plan for the Encore Shopping Center. Therefore, the proposed plan is consistent with the Union Township Storm Water Ordinance.

If you have any questions or need any further information, please feel free to contact me in my office.

Sincerely,



Bruce E. Rohrer, P.E.  
Consulting Engineer  
Isabella County

BER/taw

cc: Christopher A. Grzenkiewicz, P.E., DESINE Inc.

## Chris Grzenkowicz

---

**From:** Rick Collins <[rcollins@ictcbus.com](mailto:rcollins@ictcbus.com)>  
**Sent:** Monday, April 30, 2018 11:33 AM  
**To:** Chris Grzenkowicz; ' (pgallinat@uniontownshipmi.com)'  
**Subject:** RE: ALDI Food Market #53 Remodel & Expansion

I have reviewed the site plans for Aldi and have no issues.



**Rick Collins | Executive Director**  
2100 E. Transportation Dr | Mt. Pleasant, MI 48858  
Phone 989.773.6766 | Fax 989.773.1873  
[rcollins@ictcbus.com](mailto:rcollins@ictcbus.com)  
Visit our website at [ictcbus.com](http://ictcbus.com)

---

**From:** Chris Grzenkowicz

[\[mailto:chrisg@desineinc.com\]](mailto:chrisg@desineinc.com)

**Sent:** Friday, April 27, 2018 11:25 AM  
**To:** Info from ICTC <[info@ictcbus.com](mailto:info@ictcbus.com)>  
**Subject:** ALDI Food Market #53 Remodel & Expansion

Mr. Rick Collins,  
We submitted a set of plans to you earlier this month for the remodel and expansion of ALDI Food Market #53 located on Blue Grass Road in Union Township.  
We assume that you have little to no comments since we are not impacting your operations to our knowledge.  
Do you have a review letter or approval letter than you can send us?  
We need to submit to Union Township by Monday April 30<sup>th</sup> to make the May Planning Commission agenda and need to include a copy of your review.  
Please advise.  
Thank you,

**Christopher A. Grzenkowicz, P.E.**  
**DESINE Inc.**  
2183 Pless Drive  
Brighton, MI 48114  
Phone: (810) 227-9533  
Email: [chrisg@desineinc.com](mailto:chrisg@desineinc.com)  
Web: [www.desineinc.com](http://www.desineinc.com)

## Peter Gallinat

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**From:** Chris Grzenkowicz [chrisg@desineinc.com]  
**Sent:** Thursday, May 10, 2018 3:53 PM  
**To:** Peter Gallinat  
**Subject:** FW: ALDI Food Market #53 Remodel & Expansion

Without Attachment.

**Christopher A. Grzenkowicz, P.E.**

*DESINE Inc.*

2183 Pless Drive

Brighton, MI 48114

Phone: (810) 227-9533

Email: [chrisg@desineinc.com](mailto:chrisg@desineinc.com)

Web: [www.desineinc.com](http://www.desineinc.com)

---

**From:** Pat Gaffney <[PGaffney@isabellaroads.com](mailto:PGaffney@isabellaroads.com)>  
**Sent:** Wednesday, May 9, 2018 3:16 PM  
**To:** [pgallinat@uiontownship.com](mailto:pgallinat@uiontownship.com)  
**Cc:** Chris Grzenkowicz <[chrisg@desineinc.com](mailto:chrisg@desineinc.com)>  
**Subject:** FW: ALDI Food Market #53 Remodel & Expansion

Peter,

See email below sent on May 3<sup>rd</sup>.

Patrick J. Gaffney, PE  
Engineer Superintendent  
Isabella CRC  
989-773-7131 x115  
989-772-2371 fax  
[pgaffney@isabellaroads.com](mailto:pgaffney@isabellaroads.com)

---

**From:** Pat Gaffney  
**Sent:** Thursday, May 03, 2018 2:16 PM  
**To:** 'Chris Grzenkowicz'  
**Cc:** Peter Gallinat ([pgallinat@uiontownshipmi.com](mailto:pgallinat@uiontownshipmi.com))  
**Subject:** RE: ALDI Food Market #53 Remodel & Expansion

Chris,

I have reviewed the ALDI expansion site plan.

Isabella County Road Commission has no comments, NO work is to be done in the ROW, and NO permit from the Road Commission will be required.

Patrick J. Gaffney, PE  
Engineer Superintendent  
Isabella CRC  
989-773-7131 x115  
989-772-2371 fax  
[pgaffney@isabellaroads.com](mailto:pgaffney@isabellaroads.com)

---

**From:** Chris Grzenkowicz [<mailto:chrisg@desineinc.com>]  
**Sent:** Monday, April 30, 2018 2:25 PM  
**To:** Pat Gaffney  
**Subject:** RE: ALDI Food Market #53 Remodel & Expansion

Patrick,  
Full set of plans attached.  
Thank you,

**Christopher A. Grzenkowicz, P.E.**  
*DESINE Inc.*  
2183 Pless Drive  
Brighton, MI 48114  
Phone: (810) 227-9533  
Email: [chrisg@desineinc.com](mailto:chrisg@desineinc.com)  
Web: [www.desineinc.com](http://www.desineinc.com)

---

**From:** Pat Gaffney <[PGaffney@isabellaroads.com](mailto:PGaffney@isabellaroads.com)>  
**Sent:** Monday, April 30, 2018 2:14 PM  
**To:** Chris Grzenkowicz <[chrisg@desineinc.com](mailto:chrisg@desineinc.com)>  
**Subject:** RE: ALDI Food Market #53 Remodel & Expansion

Chris,

Can you send me and electronic copy of the plans?

Patrick J. Gaffney, PE  
Engineer Superintendent  
Isabella CRC  
989-773-7131 x115  
989-772-2371 fax  
[pgaffney@isabellaroads.com](mailto:pgaffney@isabellaroads.com)

---

**From:** Chris Grzenkowicz [<mailto:chrisg@desineinc.com>]  
**Sent:** Friday, April 27, 2018 11:23 AM

**To:** Pat Gaffney  
**Cc:** John Zeleznik  
**Subject:** ALDI Food Market #53 Remodel & Expansion

Patrick,

We submitted a set of plans to you earlier this month for the remodel and expansion of ALDI Food Market #53 located on Blue Grass Road in Union Township.

We assume that you have little to no comments since we are not working within the right of way or adding any driveways.

Do you have a review letter or approval letter than you can send us?

We need to submit to Union Township by Monday April 30<sup>th</sup> to make the May Planning Commission agenda and need to include a copy of your review.

Please advise.

Thank you,

**Christopher A. Grzenkowicz, P.E.**

*DESINE Inc.*

2183 Pless Drive

Brighton, MI 48114

Phone: (810) 227-9533

Email: [chrisg@desineinc.com](mailto:chrisg@desineinc.com)

Web: [www.desineinc.com](http://www.desineinc.com)



SITE PLAN

FOR

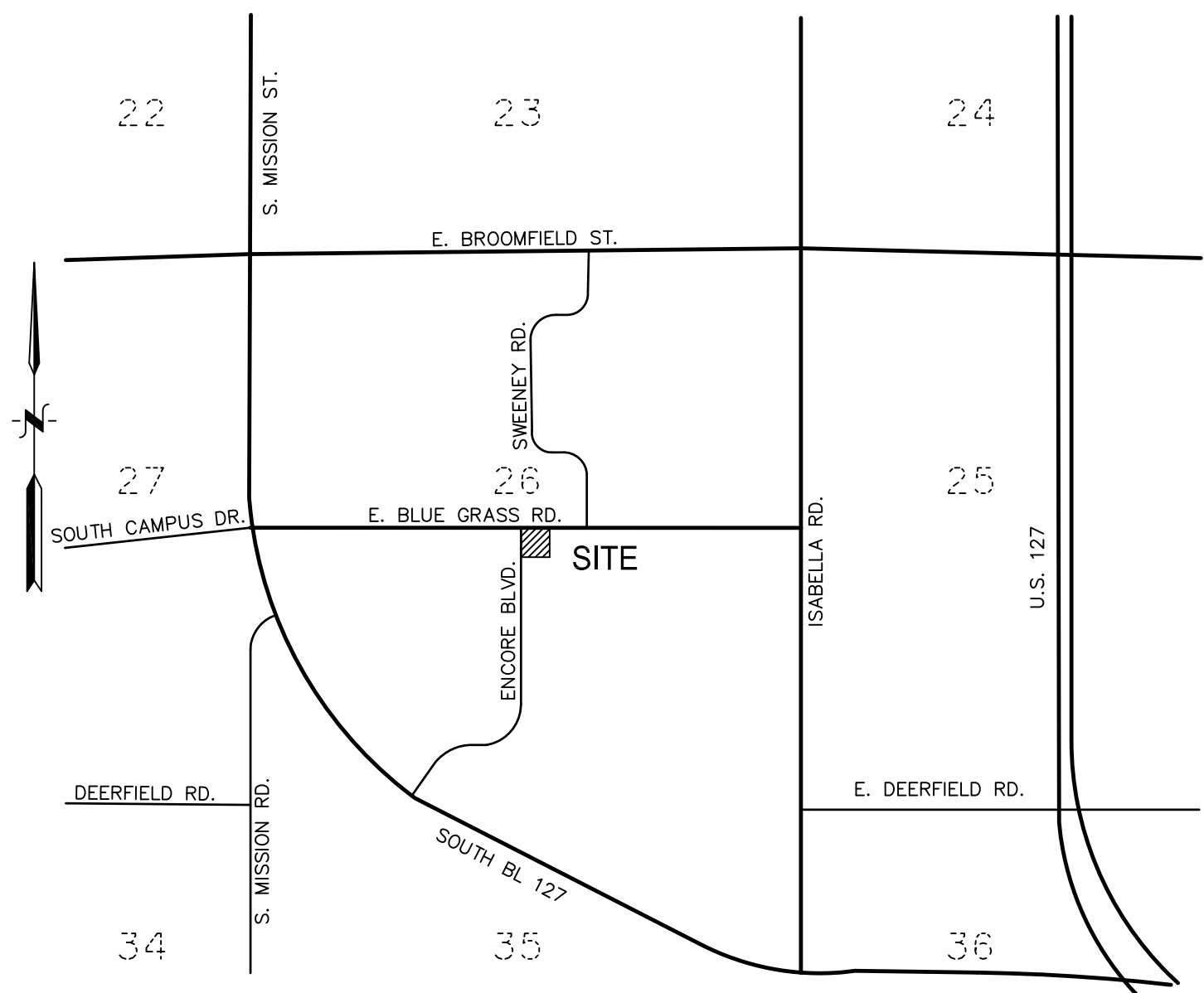
ALDI FOOD MARKET #53

REMODEL & EXPANSION

4512 E. BLUE GRASS ROAD, MT. PLEASANT, MICHIGAN 48858

A PART OF THE SOUTHEAST 1/4 OF SECTION 26, T14N, R4W

UNION TOWNSHIP, ISABELLA COUNTY,MIGHIGAN



LOCATION MAP

NOT TO SCALE

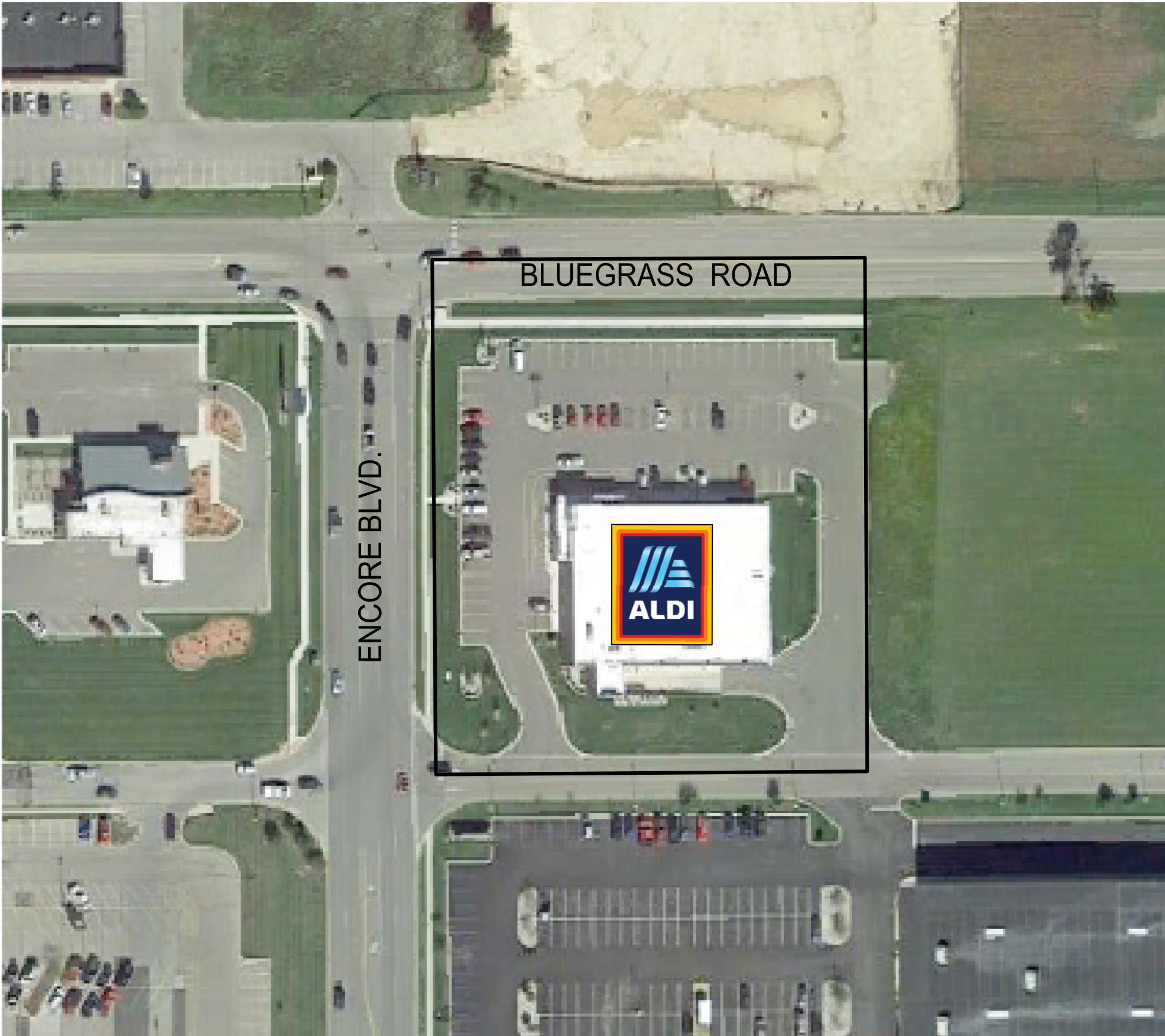
LEGAL DESCRIPTION:

Part of the Southwest 1/4 and part of Southeast 1/4 of Section 26, T14N, R4W, Union Township, Isabella County, State of Michigan, described as: **BEGINNING** S87°14'52"E, along the East-West 1/4 line, 2630.58 feet from the West 1/4 Corner of said Section 26; thence continuing S87°14'52"E, along said East-West 1/4 line, 39.69 feet to the Interior 1/4 Corner of said Section 26; thence S87°15'30"E, along said East-West 1/4 line, 266.33 feet; thence S02°44'30"W, 363.25 feet; thence N87°24'44"W, 305.03 feet to the East Right-of-Way line of Encore Drive; thence N02°35'08"E, along said East Right-of-Way line of Encore Drive, 364.08 feet back to the Point of Beginning. This property is subject to an easement for the installation and maintenance of public utilities within the Right-of-Way of Bluegrass Road. Containing 2.55 acres and being subject to restrictions, reservations, easements, right-of-way, zoning, governmental regulations, and matters visible, if any upon or affecting said lands.

PARCEL ID NO: 14-026-40-001-18  
Commonly known as: 4512 E. Bluegrass Road, Mt. Pleasant, Michigan 48858

BENCHMARK #1:  
HYDRANT, LOCATED SOUTH SIDE OF  
PROPERTY AND DRIVE, 350± FEET OF  
ENCORE DRIVE.  
ELEVATION = 799.45 (LOCAL DATUM -  
ISABELLA CO. ROAD COMMISSION - SITE  
PLAN BY SSOE, INC, JOB No. 052044-00)

BENCHMARK #2  
ARROW ON HYDRANT, LOCATED IN  
NORTHEAST QUADRANT OF BLUEGRASS AND  
ENCORE DRIVE.  
ELEVATION = 805.81 (LOCAL DATUM -  
ISABELLA CO. ROAD COMMISSION - SITE PLAN  
BY SSOE, INC, JOB No. 052044-00)  
NOTE: BM NOT ON SITE SITE PLAN



AERIAL PHOTOGRAPH

SCALE: NOT TO SCALE

AERIAL PHOTOGRAPHY BY:



Aerial photographic underlay is an unrectified  
image and is orientated to the engineering line  
work within reasonable accuracy and precision,  
and may not accurately depict current site  
conditions.

AERIAL PHOTOGRAPH

SCALE: 1in. = 100ft.

ENGINEER/SURVEYOR

DESINE Inc.  
2183 PLESS DRIVE  
BRIGHTON, MICHIGAN 48114  
PHONE: (810) 227-9533

DEVELOPER / APPLICANT

ALDI Inc.  
2625 N. STOCKBRIDGE ROAD  
WEBBERVILLE, MICHIGAN 48892  
PHONE: (517) 521-3907

ARCHITECT

APD ENGINEERING &  
ARCHITECTURE, PLLC  
615 FISHERS RUN  
VICTOR, NEW YORK 14564  
PHONE: (585) 742-2222

SHEET INDEX

- |       |  |
|-------|--|
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| SE2   | SOIL EROSION & SEDIMENTATION CONTROL NOTES & DETAILS |
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REVISED	SCALE: N/A
APRIL 30, 2018	PROJECT No.: 173289
	DWG NAME: 3289-COV
	PRINT: APR 30, 2018







SITE DEVELOPMENT NOTES:

1. A Knox Box shall be provided on the exterior building wall at the front entrance in accordance with the Local Fire Department requirements.
2. Immediate access to the fire department connection shall be maintained at all times and without obstruction by fences, bushes, trees, walls or any other object for a minimum of 3 feet.
3. The Contractor shall coordinate all site work with their Subcontractor(s), the appropriate Utility Providers and any necessary public utility work to ensure that all public utility work is performed in a timely manner and in a proper sequence in accordance with standard acceptable construction practices and to ensure that all public utility work is completed prior to the scheduled store re-opening date.
4. The Contractor shall coordinate all site work with their Subcontractor(s), the Sign Contractor(s) and the sign work to ensure that all sign work is performed in a timely manner and in a proper sequence in accordance with standard acceptable construction practices and to ensure that all sign work is completed prior to the scheduled store re-opening date.
5. The Contractor shall maintain the project site during the construction period. Maintenance shall include, but is not limited to, routine sweeping of the parking area and removal of trash and debris on an as needed basis and/or as directed by ALDI Inc.
6. All barrier free ramps shall be constructed with detectable warnings in accordance with MDOT Standard Plan R-28, latest edition.
7. The existing concrete pavement within the truck well shall be power washed. All existing joints and cracks shall be re-caulked with joint sealant in accordance with the Project Manual.
8. All existing on-site bituminous pavement that is to remain, shall be seal coated and the parking stalls shall be restriped in accordance with the Project Plans.
9. See sheet EX1 for existing utility easements. See sheet UT1 for proposed utility easements.

14-026-10-005-08  
MP NOTE, LLC  
200 W. MICHIGAN AVENUE, SUITE 201  
KALAMAZOO, MI 49007  
ZONED: B-5

14-103-00-015-00  
PINNACLE VENTURES LLC  
1000 FRONT AVENUE NW  
GRAND RAPIDS, MI 49504  
ZONED: B-5

ALDI FOOD MARKET #53 PROPOSED SIGNAGE CHART				
SIGN TYPE	LOCATION	PROPOSED AREA (SF)	ALLOWABLE AREA (SF)	ZONING ORDINANCE SECTIONS
<b>FREESTANDING PYLON SIGN:</b>				
Pole Mounted ALDI Logo Sign	NW Corner of Project Site	46.9	100	11.11.B 11.11.F.3.b.1
<b>BLUEGRASS ROAD / NORTH SIDE - WALL SIGN:</b>				
Wall Mounted ALDI Logo Sign	Entrance Tower North Wall	46.6	100	11.11.B 11.11.F.3.a
<b>ENCORE BOULEVARD / WEST SIDE - WALL SIGN:</b>				
Wall Mounted ALDI Logo Sign	Entrance Tower West Wall	46.6	50	11.11.F.1
<b>ENTRANCE DRIVE / SOUTH SIDE - WALL SIGN:</b>				
Wall Mounted ALDI Logo Sign	Receiving Room South Wall	46.6	100 - 46.6 = 53.4	11.11.F.2
<b>TOTAL COMBINED SIGN AREA</b>		<b>186.7</b>	<b>200</b>	11.11.A

14-026-30-001-17  
MEMBERS FIRST CREDIT UNION  
600 W. WACKERLY ST.  
MIDLAND, MI 48640  
ZONED: B-5

14-026-30-001-06  
WAL-MART REAL ESTATE BUSINESS  
PO BOX 8050  
BENTONVILLE, AR 72712-8050  
ZONED: B-5

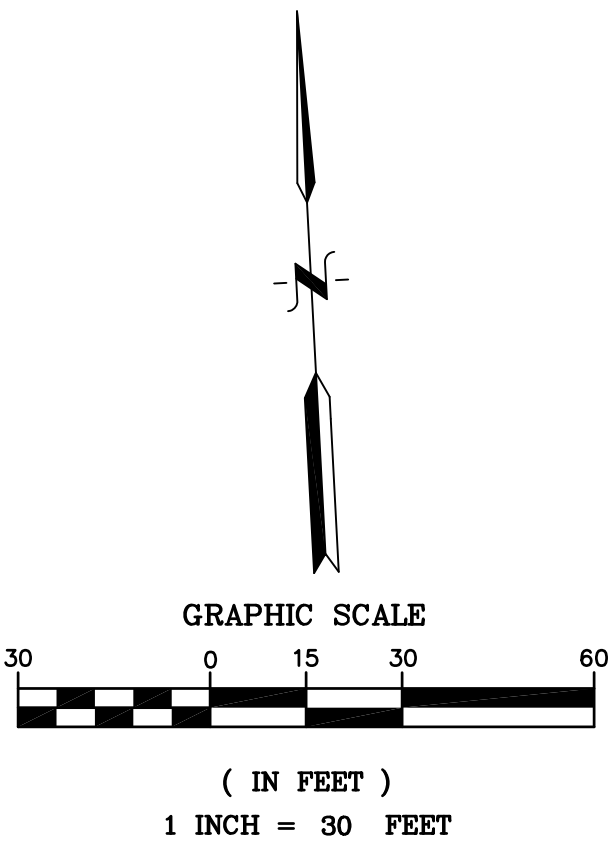
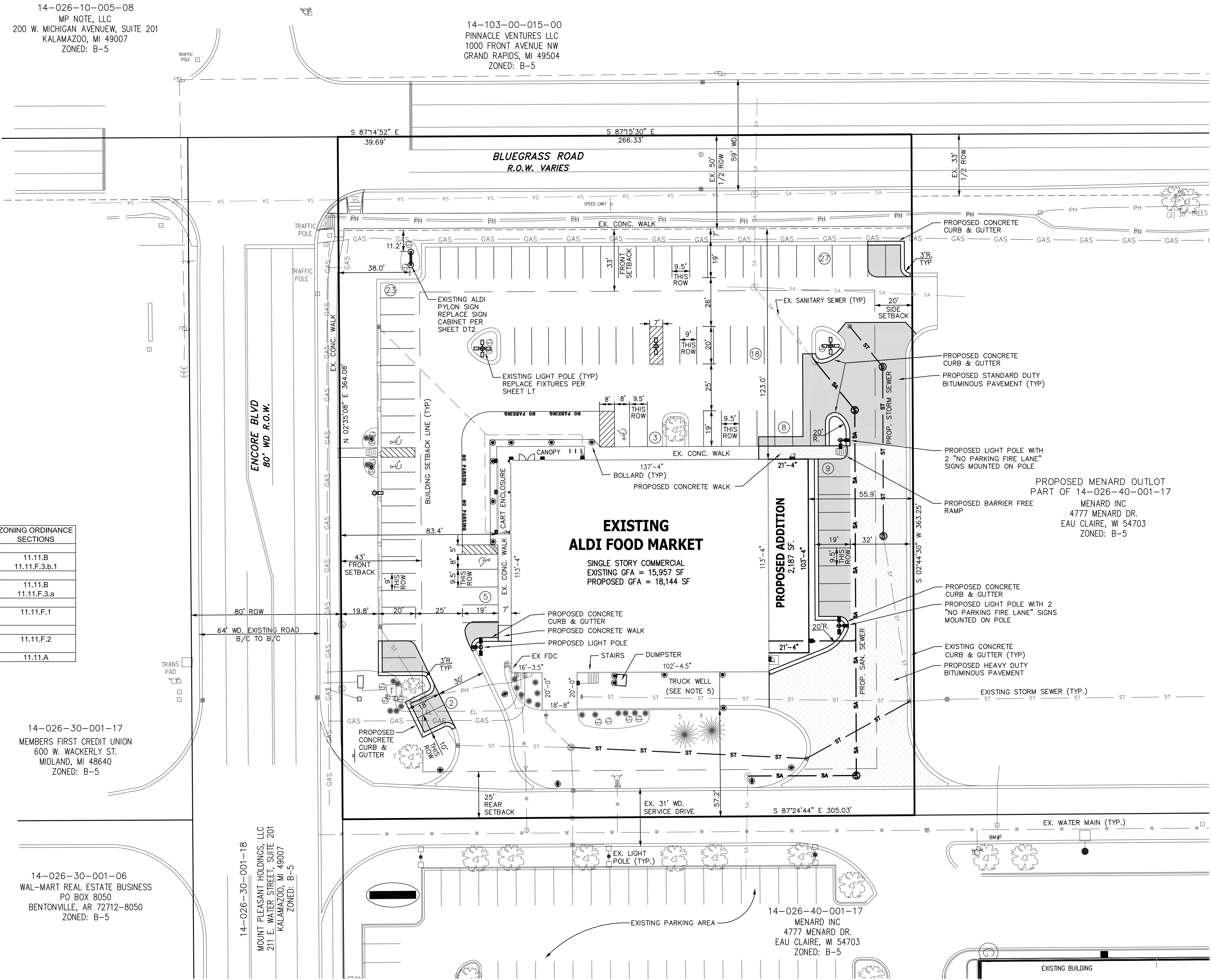
14-026-30-001-18  
MOUNT PLEASANT HOLDINGS, LLC  
211 E. WATER STREET, SUITE 201  
KALAMAZOO, MI 49007  
ZONED: B-5

BENCHMARK

BENCHMARKS CARRIED OVER FROM PREVIOUS JOB 111805

BENCHMARK #1:  
HYDRANT, LOCATED SOUTH SIDE OF PROPERTY AND DRIVE, 350± FEET OF ENCORE DRIVE.  
ELEVATION = 799.45 (LOCAL DATUM - ISABELLA CO. ROAD COMMISSION - SITE PLAN BY SSOE, INC, JOB No. 052044-00)

BENCHMARK #2  
ARROW ON HYDRANT, LOCATED IN NORTHEAST QUADRANT OF BLUEGRASS AND ENCORE DRIVE.  
ELEVATION = 805.81 (LOCAL DATUM - ISABELLA CO. ROAD COMMISSION - SITE PLAN BY SSOE, INC, JOB No. 052044-00)  
NOTE: BM NOT ON SITE PLAN



LEGEND

	PROPERTY LINE
	EX. EASEMENT LINE
	BUILDING SETBACK
	EX. SIGN
	EX. MISC. FIXTURE, AS LABELED
	EX. CURB
	EX. EDGE OF PAVEMENT
	EX. SANITARY SEWER
	EX. MANHOLE
	EX. STORM SEWER
	EX. CATCHBASIN
	EX. YARD BASIN
	EX. WATER MAIN
	EX. HYDRANT
	EX. LIGHT POLE
	EX. GAS LINE
	EX. U/G UTILITY LINE
	EX. UTILITY POLE
	EX. 1' CONTOUR
	EX. 5' CONTOUR
	PROP. 2' CONC. CURB
	PROP. EDGE OF PAVEMENT
	PROP. EASEMENT LINE
	PROP. SANITARY SEWER
	PROP. SANITARY MANHOLE
	PROP. WATER MAIN
	PROP. WATER SHUTOFF
	PROP. STORM SEWER
	PROP. CATCHBASIN
	PROP. STORM MANHOLE
	PROP. CLEANOUT
	PROP. UNDERDRAIN
	PROP. LIGHT POLES
	PROP. SIGNS
	PROP. HEAVY DUTY BITUMINOUS PAVEMENT
	PROP. STANDARD DUTY BITUMINOUS PAVEMENT
	PROP. CONCRETE PAVEMENT
	PROP. CONCRETE SIDEWALK

SITE DATA:

PARCEL #:	14-026-40-001-18
ADDRESS:	4512 E. BLUEGRASS ROAD
SITE AREA:	2.55 ACRES
ZONING:	B-5 HIGHWAY BUSINESS DISTRICT
EXISTING USE:	CHAIN COMMERCIAL RETAIL
PROPOSED USE:	CHAIN COMMERCIAL RETAIL
EXISTING LOT COVERAGE:	14.4%
PROPOSED LOT COVERAGE:	16.3%
EX. BITUMINOUS PAVEMENT AREA:	46,235 SF
PROP. BITUMINOUS PAVEMENT AREA:	48,185 SF
CONCRETE TRUCK WELL AREA:	1,469 SF
PUBLIC CONCRETE SIDEWALK AREA:	3,968 SF
PRIVATE CONCRETE SIDEWALK AREA:	2,487 SF

PARKING CALCULATIONS:

REQUIRED =	1 SP / 250 SF GFA
=	18,144 SF / 250 SF
=	73 SPACES
EXISTING =	72 SPACES
PROPOSED =	95 SPACES

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(810) 227-9533  
CIVIL ENGINEERS  
LAND SURVEYORS  
2183 PLESS DRIVE  
BRIGHTON, MICHIGAN 48114

DESIGN: CAG	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: SES						
CHECK: CAG						

ALDI FOOD MARKET #53  
MT. PLEASANT, MI

SITE PLAN

CLIENT:	SCALE: 1in = 30ft.
ALDI, Inc. 2625 N. STOCKBRIDGE RD. WEBBERVILLE, MI 48892 (517) 521-3907	PROJECT No.: 173289 DWG NAME: 3289 SP ISSUED: APRIL 6, 2018

SP



# EXISTING STRUCTURE INVENTORY

CB-113  
RIM 799.37  
12" S INV 794.57 (TBR)

CB-112  
RIM 797.40  
8" E INV 795.40

CB-111  
RIM 799.31  
8" W INV 793.01  
12" N INV 792.01  
30" E INV 789.51  
30" SW INV 789.86 (TBR)

CB-110  
RIM 789.99  
30" NE INV 788.14 (TBR)  
30" W INV 788.34 (TBR)

CB-103  
RIM 800.22  
6" SE INV 795.72  
12" S INV 795.12

CB-102  
RIM 800.37  
12" N INV 794.57  
12" SW 794.47

CB-101  
RIM 798.80  
12" NE INV 793.70  
12" E INV 793.60

YB-100  
RIM 800.31  
12" NW INV 794.98  
12" W INV 793.41  
30" E INV 789.21 (TBR)  
30" S INV 789.11

CB-55  
RIM 798.78  
INVERTS NOT FIELD VERIFIED

CB-54  
RIM 800.44  
INVERTS NOT FIELD VERIFIED

MH-53  
RIM 800.88  
INVERTS NOT FIELD VERIFIED

CB-52  
RIM 800.47  
INVERTS NOT FIELD VERIFIED

YB-25  
RIM 798.31  
24" E INV 791.46  
30" W INV 791.10

CB-23  
RIM 797.35  
30" N INV 789.07  
30" S INV 788.85

CB-22  
RIM 797.37  
INVERTS NOT FIELD VERIFIED

SANITARY SEWER MH-A

RIM 801.11  
6" E INV 785.77  
6" W INV 785.75  
8" SE INV 785.75  
8" N INV 785.52

SANITARY SEWER MH-B

RIM 799.73  
6" S INV 788.26  
8" N INV 788.03 (TBR)

SANITARY SEWER MH-C

RIM 800.04  
8" S INV 786.03 (TBR)  
8" N INV 785.95

SANITARY SEWER MH-D (TBR)

RIM 799.49  
8" W INV 786.44  
8" N INV 786.45

SANITARY SEWER MH-E (TBR)

RIM 800.28  
8" S INV 786.94  
8" E INV 786.48

SANITARY SEWER MH-12

RIM 800.43  
8" S INV 790.85  
8" S INV 785.38  
8" N INV 790.53  
10" E INV 785.28  
10" W INV 785.24

C/L GAS LINE MARKINGS & C/L OF 10' WD ESMT FOR GAS PIPELINE TO MICHIGAN CONSOLIDATED GAS COMPANY  
L. 1356, PG. 966

ENCORE BLVD  
80' WD R.O.W.

C/L GAS LINE MARKINGS & C/L OF 10' WD ESMT FOR GAS PIPELINE TO MICHIGAN CONSOLIDATED GAS COMPANY  
L. 1356, PG. 966

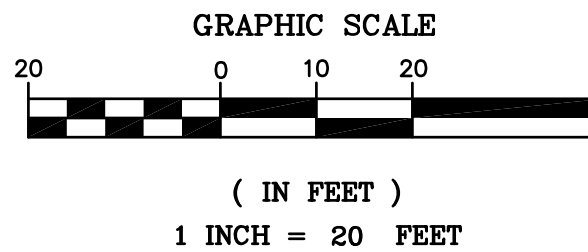
"ACCESS DRIVE AREA"  
80' WD ESMT FOR INGRESS & EGRESS  
L. 1327, PG. 250

10' WD ESMT FOR STORM & SANITARY SEWER, L. 1327, PG. 283

BLUEGRASS ROAD  
R.O.W. VARIES

EXISTING  
ALDI FOOD MARKET

PROPOSED ADDITION



## LEGEND

	PROPERTY LINE
	EX. EASEMENT LINE
	BUILDING SETBACK
	EX. SIGN
	EX. MISC. FIXTURE, AS LABELED
	EX. CURB
	EX. EDGE OF PAVEMENT
	EX. SANITARY SEWER
	EX. MANHOLE
	EX. STORM SEWER
	EX. CATCHBASIN
	EX. YARD BASIN
	EX. WATER MAIN
	EX. HYDRANT
	EX. LIGHT POLE
	EX. GAS LINE
	EX. U/G UTILITY LINE
	EX. UTILITY POLE

EX. 1' CONTOUR

EX. 5' CONTOUR

	PROP. 2' CONC. CURB
	PROP. EDGE OF PAVEMENT
	PROP. EASEMENT LINE
	PROP. SANITARY SEWER
	PROP. SANITARY MANHOLE
	PROP. WATER MAIN
	PROP. WATER SHUTOFF
	PROP. STORM SEWER
	PROP. CATCHBASIN
	PROP. STORM MANHOLE
	PROP. CLEANOUT
	PROP. UNDERDRAIN
	PROP. LIGHT POLES
	PROP. SIGNS

## BENCHMARK

BENCHMARKS CARRIED OVER FROM PREVIOUS JOB 11805

BENCHMARK #1:  
HYDRANT, LOCATED SOUTH SIDE OF PROPERTY AND DRIVE, 350+ FEET OF ENCORE DRIVE.  
ELEVATION = 799.45 (LOCAL DATUM - ISABELLA CO. ROAD COMMISSION - SITE PLAN BY SSOE, INC. JOB NO. 052044-00)

BENCHMARK #2  
ARROW ON HYDRANT, LOCATED IN NORTHEAST QUADRANT OF BLUEGRASS AND ENCORE DRIVE.  
ELEVATION = 805.81 (LOCAL DATUM - ISABELLA CO. ROAD COMMISSION - SITE PLAN BY SSOE, INC. JOB NO. 052044-00)  
NOTE: BM NOT ON SITE SITE PLAN

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LAND SURVEYORS  
2183 PLESS DRIVE  
BRIGHTON, MICHIGAN 48114

DESIGN: CAG	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: SES	1	04-30-18	REVISED UTILITY NOTES PER UNION TWP DPW REVIEW COMMENTS
CHECK: CAG			

ALDI FOOD MARKET #53  
MT. PLEASANT, MI

UTILITY PLAN



CLIENT:	ALDI, Inc. 2625 N. STOCKBRIDGE RD. WEBBERVILLE, MI 48892 517-521-3907
SCALE:	1" = 20'.
PROJECT No.:	173289
DWG NAME:	173289 UT
ISSUED:	APR 30, 2018

UT1



	PROPERTY LINE
	EX. EASEMENT LINE
	BUILDING SETBACK
	EX. SIGN
	EX. MISC. FIXTURE, AS LABELED
	EX. CURB
	EX. EDGE OF PAVEMENT
	EX. SANITARY SEWER
	EX. MANHOLE
	EX. STORM SEWER
	EX. CATCHBASIN
	EX. YARD BASIN
	EX. WATER MAIN
	EX. HYDRANT
	EX. LIGHT POLE
	EX. GAS LINE
	EX. U/G UTILITY LINE
	EX. UTILITY POLE

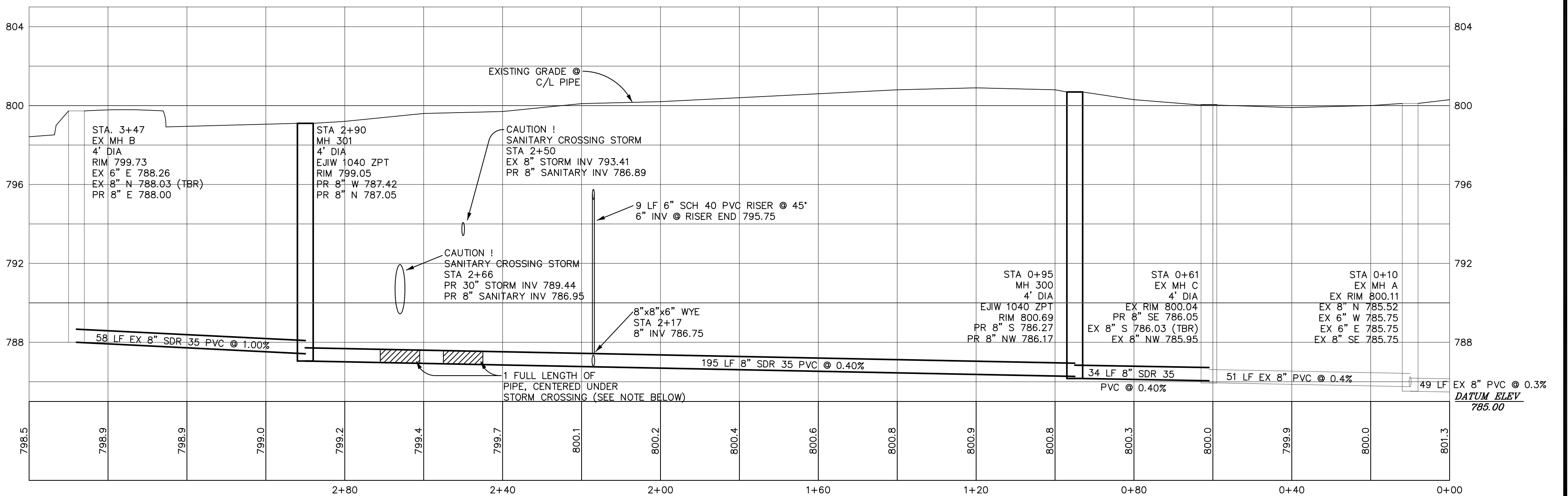
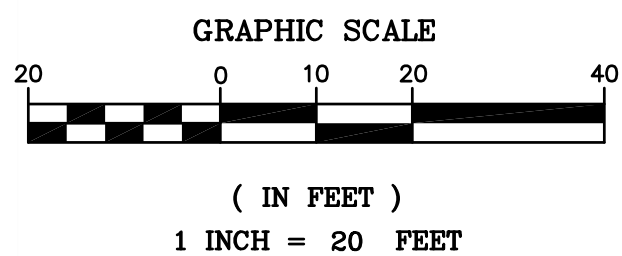
EX. 5' CONTOUR

_____	PROP. 2' CONC. CURB
_____	PROP. EDGE OF PAVEMENT
_____	PROP. EASEMENT LINE
_____ SA _____ SA	PROP. SANITARY SEWER
(S)	PROP. SANITARY MANHOLE
_____ W _____ W	PROP. WATER MAIN
_____ ST _____ ST	PROP. WATER SHUTOFF
(S)	PROP. STORM SEWER
(S)	PROP. CATCHBASIN
(S)	PROP. STORM MANHOLE
(S)	PROP. CLEANOUT
-----	PROP. UNDERDRAIN
	PROP. LIGHT POLES
	PROP. SIGNS

BENCHMARKS CARRIED OVER FROM PREVIOUS  
JOB 111805

BENCHMARK #1:  
HYDRANT, LOCATED SOUTH SIDE OF  
PROPERTY AND DRIVE, 350± FEET OF  
ENCORE DRIVE.  
ELEVATION = 799.45 (LOCAL DATUM -  
ISABELLA CO. ROAD COMMISSION - SIT  
PLAN BY SSOE, INC, JOB No. 052044-

BENCHMARK #2  
ARROW ON HYDRANT, LOCATED IN  
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ISABELLA CO. ROAD COMMISSION - SITE PLAN  
BY SSOE, INC. JOB No. 052044-00)  
NOTE: BM NOT ON SITE SITE PLAN



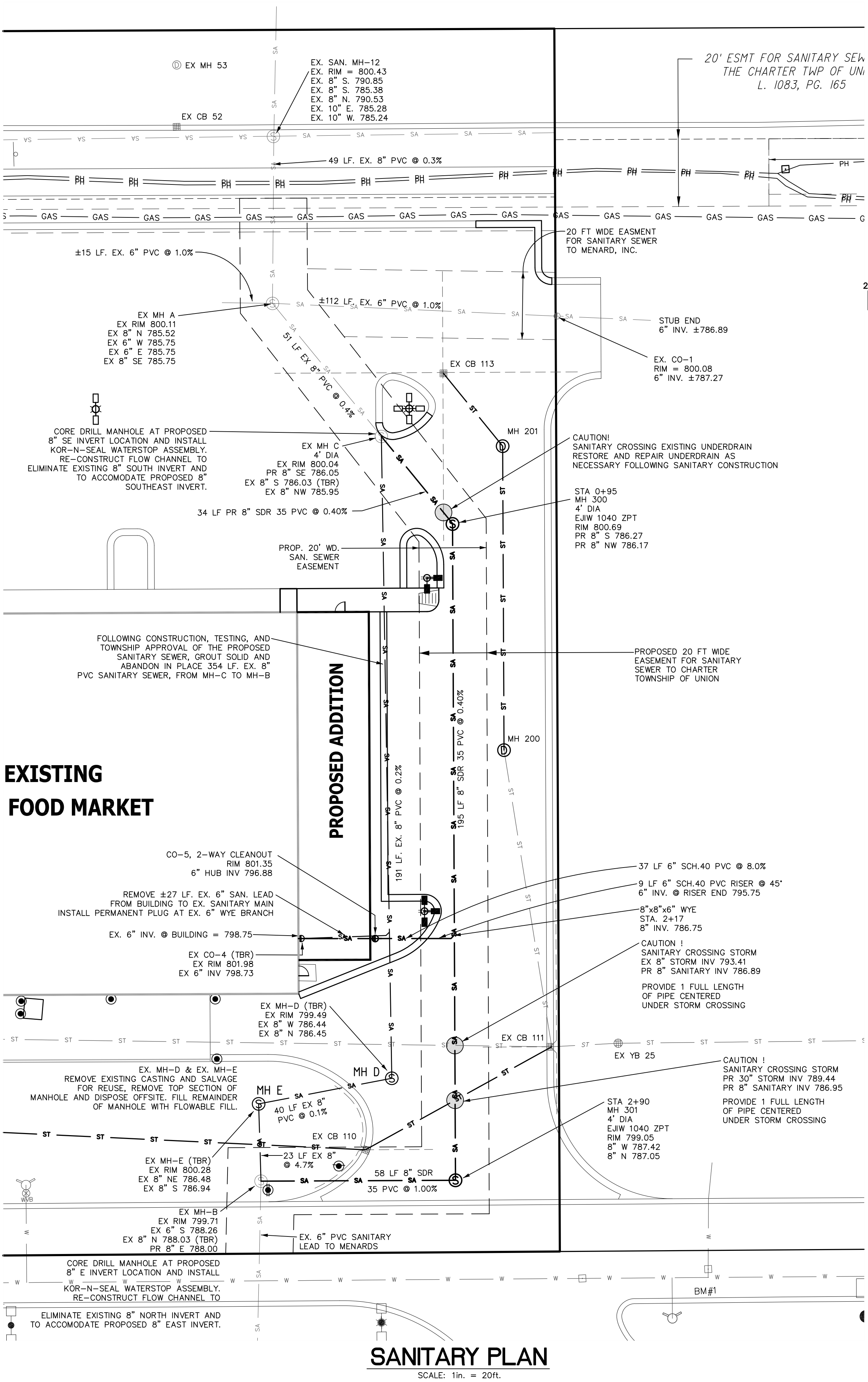
**NOTE:**  
SANITARY SEWER & STORM SEWER CROSSINGS. PROVIDE 1 FULL LENGTH OF PIPE CENTERED UNDER STORM CROSSINGS. CONTRACTOR SHALL FIELD VERIFY THAT A MINIMUM OF 18" OF CLEARANCE IS PROVIDED BETWEEN PIPES. IF CLEARANCE IS LESS THAN 18", THEN INSTALL A CAST IN PLACE CONCRETE SADDLE IN ACCORDANCE WITH UNION TOWNSHIP STANDARDS & SPECIFICATIONS.

SCALE: HORIZ. 1in. = 20ft.  
VERT. 1in. = 4ft.

ITEM	AMOUNT	UNITS
4" DIAMETER CONCRETE MANHOLE	2	EACH
8" KOR-N-SEAL WATERSTOP ASSEMBLY	2	EACH
8" SDR 35 PVC PIPE	287	LF
8" x 8" x 6" SDR 35 PVC WYE	1	EACH
6" SCH 40 PVC PIPE	46	LF
6" SCH 40 PVC 45 DEGREE BEND	2	EACH
6" x 6" SCH 40 PVC 2-WAY CLEANOUT HUB	2	EACH
6" SCH 40 PVC CLEANOUT RISER	1	EACH
6" SDR 26 PVC THREADED CLEANOUT ADAPTER FITTING	1	EACH
6" SDR 26 PVC THREADED CLEANOUT PLUG	1	EACH



**(810) 227-9533**  
**CIVIL ENGINEERS**  
**LAND SURVEYORS**  
**2183 PLESS DRIVE**  
**BRIGHTON, MICHIGAN 48114**



	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DESIGN: CAG	1	04-30-18	ADD FLOW CHANNEL RECONSTRUCTION NOTE TO EX MH-B			
DRAFT: SES						
CHECK: CAG						

ALDI FOOD MARKET #53  
MT. PLEASANT, MI

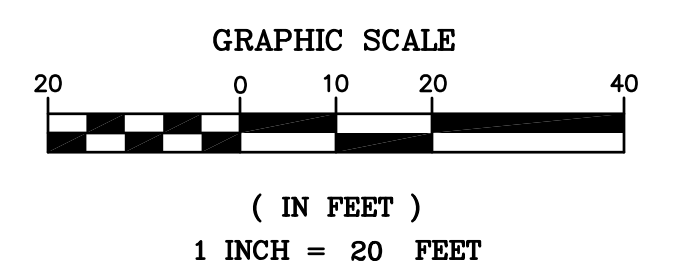
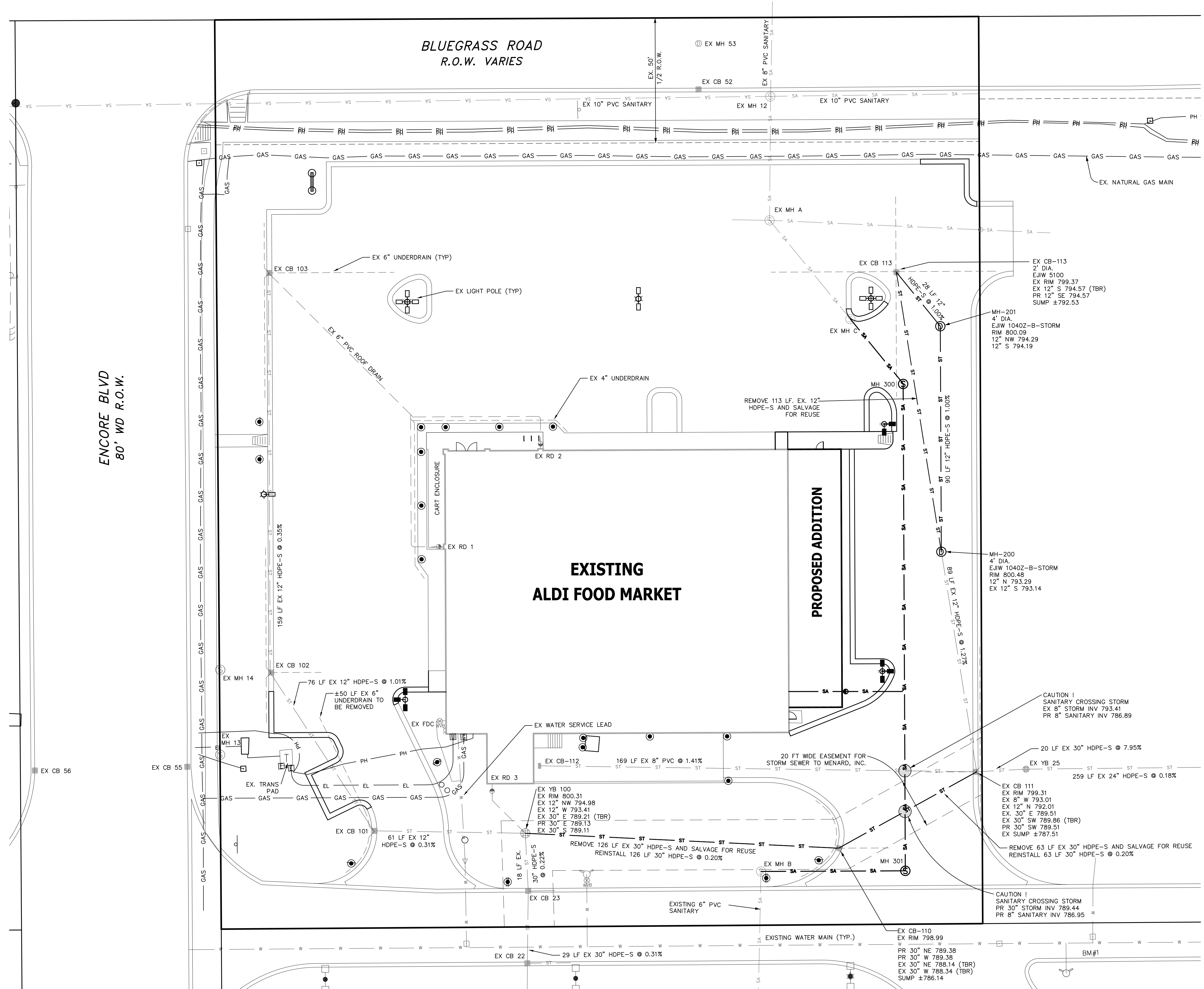
# SANITARY SEWER PLAN & PROFILE

CLIENT:  
ALDI, Inc.  
2625 N. STOCKBRIDGE RD.  
WEBBERVILLE, MI 48892  
(517) 521-3907

SCALE: 1in = 20ft.  
PROJECT No.: 173289  
DWG NAME: 3289 UT  
ISSUED: APR 30, 2018

JT2





- LEGEND**
- PROPERTY LINE
  - EX. EASEMENT LINE
  - BUILDING SETBACK
  - EX. SIGN
  - EX. MISC. FEATURE, AS LABELED
  - EX. CURB
  - EX. EDGE OF PAVEMENT
  - EX. SANITARY SEWER
  - EX. MANHOLE
  - EX. STORM SEWER
  - EX. CATCHBASIN
  - EX. YARD BASIN
  - EX. WATER MAIN
  - EX. HYDRANT
  - EX. LIGHT POLE
  - EX. GAS LINE
  - EX. U/G UTILITY LINE
  - EX. UTILITY POLE
  - EX. 1' CONTOUR
  - EX. 5' CONTOUR
  - PROP. 2' CONC. CURB
  - PROP. EDGE OF PAVEMENT
  - PROP. EASEMENT LINE
  - PROP. SANITARY SEWER
  - PROP. SANITARY MANHOLE
  - PROP. WATER MAIN
  - PROP. WATER SHUTOFF
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  - PROP. STORM MANHOLE
  - PROP. CLEANOUT
  - PROP. UNDERDRAIN
  - PROP. LIGHT POLES
  - PROP. SIGNS

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LAND SURVEYORS  
2183 PLESS DRIVE  
BRIGHTON, MICHIGAN 48114

DESIGN: CAG	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: JHG						
CHECK: CAG						

ALDI FOOD MARKET #53  
MT. PLEASANT, MI

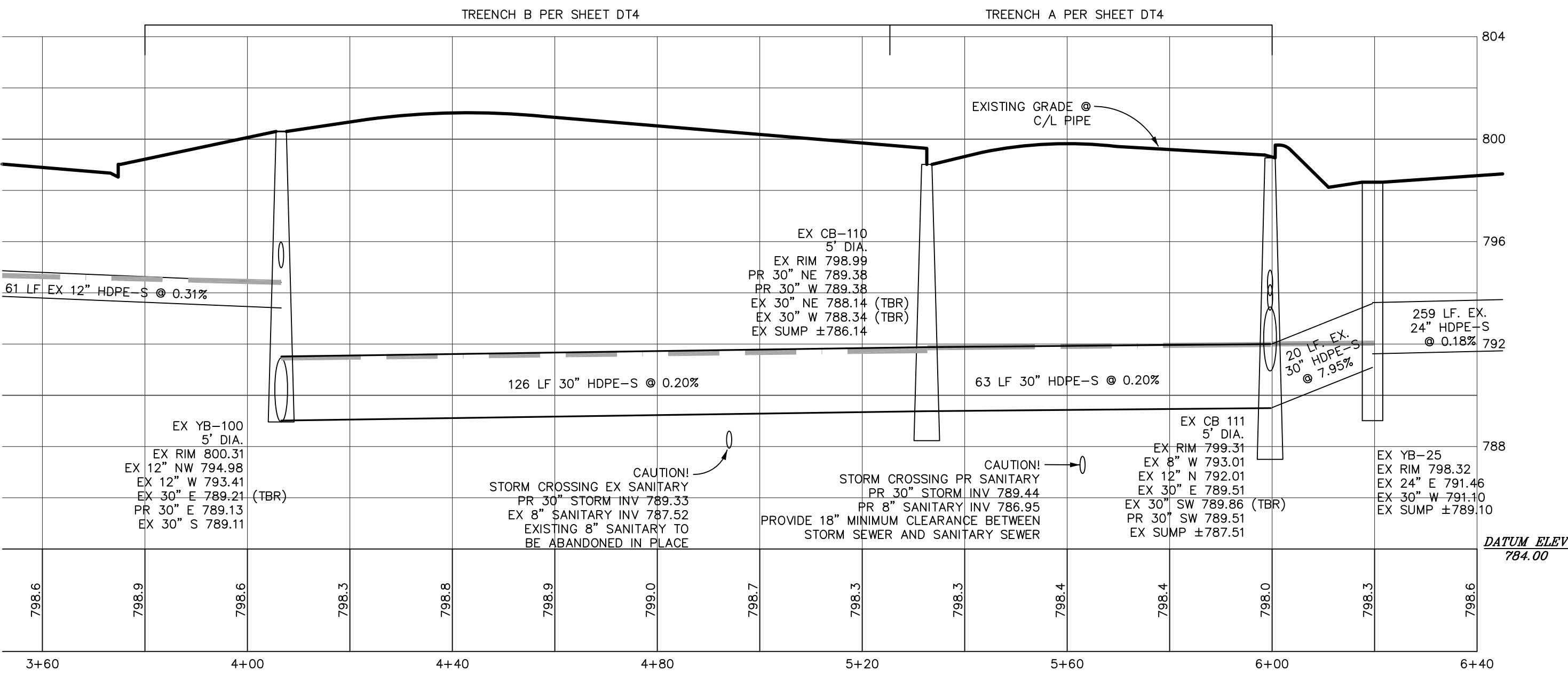
STORM SEWER PLAN

CLIENT:	SCALE: 1in = 20ft.
ALDI, INC.	PROJECT No.: 173289
2625 N. STOCKBRIDGE RD.	DWG NAME: 805-UT
WEBBERVILLE, MI 48892	ISSUED: APRIL 6, 2018
517-521-3907	

UT3

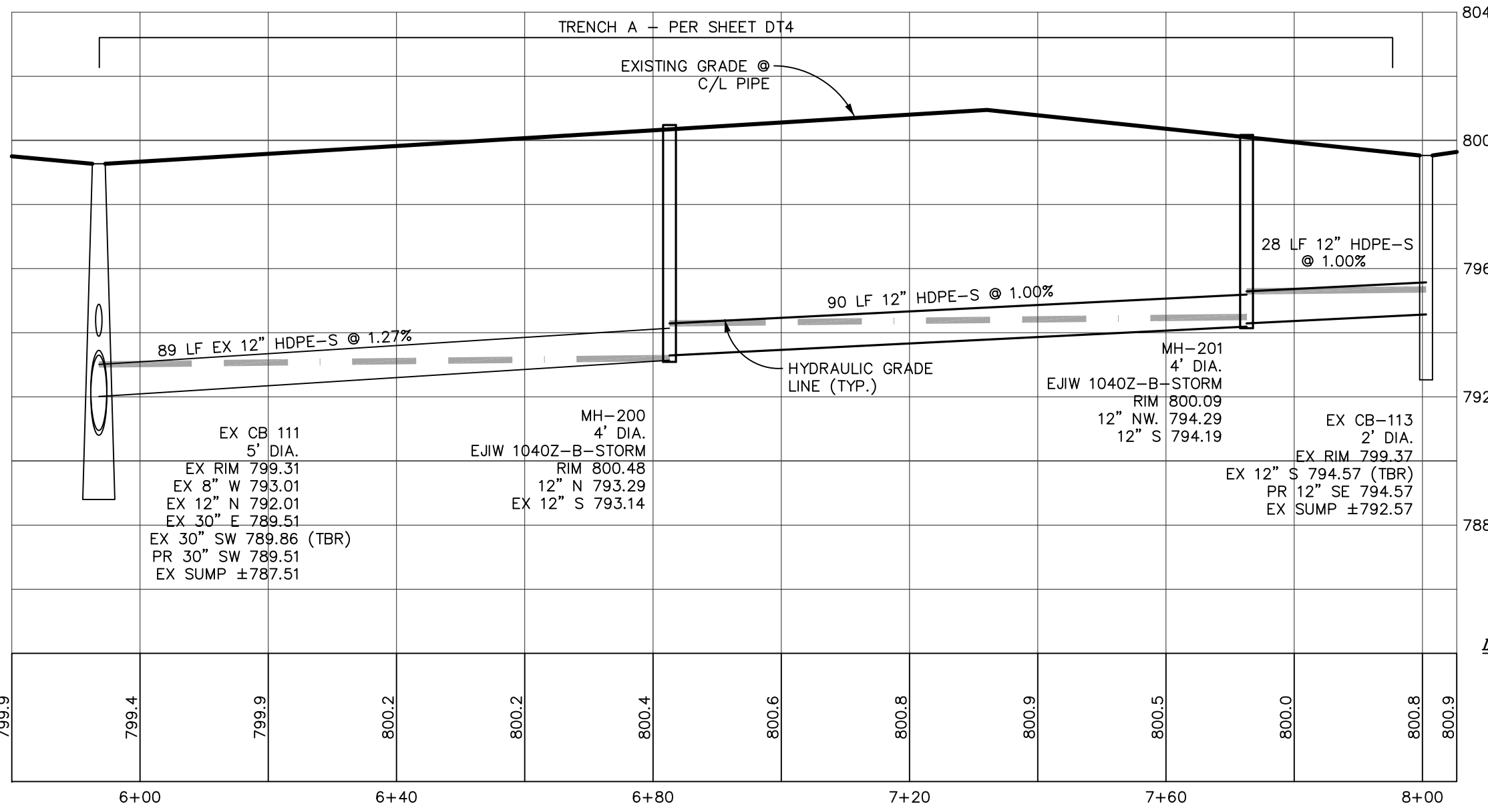


From MH# CB# FES#	To MH# CB# FES#	Inc. Acres "A"		Eqv. Area 100% CA	Total Area 100% CA	T Time Min.	I Inch Per Hour	Q (CIA) c.f.s.	Dia. of pipe inch	Slope pipe %	Slope H.G. %	Length of line ft.	Vel. Flow full ft./sec.	Time of flow min.	Cap of pipe c.f.s.	H.G. Elev. upper end	Ground Elev.		Invert Elev.	
																	Upper end	Lower end	Upper end	Lower end
25	111				5.00	17.6	4.11	20.55	30"	7.95	0.15	20	30.62	0.0	150.30	792.04	798.32	799.31	791.10	789.51
113	201	0.55	0.90	0.50	0.50	15.0	4.38	2.19	12"	1.00	0.22	28	5.90	0.1	4.63	795.35	799.37	800.09	794.57	794.29
201	200	0.00	0.00	0.00	0.50	15.1	4.36	2.19	12"	1.00	0.22	90	5.90	0.2	4.63	794.49	800.09	800.48	794.19	793.29
200	111	0.00	0.00	0.00	0.50	15.3	4.34	2.19	12"	1.27	0.22	89	6.65	0.2	5.22	793.21	800.48	799.31	793.14	792.01
112	111	0.04	0.95	0.04	0.04	15.0	4.38	0.18	8" PVC	1.41	0.02	169	4.11	0.7	1.44	795.40	797.40	799.31	795.40	793.01
111	110	0.2	0.86	0.13	5.67	17.6	4.11	23.30	30"	0.20	0.19	63	4.86	0.2	23.85	792.00	799.31	798.99	789.51	789.38
110	100	0.05	0.95	0.05	5.73	17.8	4.10	23.45	30"	0.20	0.19	126	4.86	0.4	23.85	791.87	798.99	800.31	789.38	789.13
RD3	100	0.46	0.90	0.41	0.41	15.0	4.38	1.80	12" PVC	5.25	0.26	24	10.41	0.1	8.16	796.24	802.00	800.31	796.24	794.98
RD2	WYE 1	0.01	0.90	0.01	0.01	15.0	4.38	0.04	6" PVC	1.00	0.01	76	2.80	0.4	0.56	797.41	801.96	801.63	797.41	796.65
RD1	WYE 2	0.01	0.90	0.01	0.01	15.0	4.38	0.04	6" PVC	1.00	0.01	73	2.80	0.4	0.56	797.42	801.96	801.61	797.42	796.69
WYE 2	WYE 1	0.00	0.00	0.00	0.01	15.4	4.33	0.04	6" PVC	1.00	0.01	4	2.80	0.0	0.56	797.15	801.63	801.61	796.69	796.65
WYE 1	103	0.00	0.00	0.00	0.02	15.4	4.33	0.09	6" PVC	1.25	0.02	74	3.20	0.4	0.63	796.65	801.61	800.22	796.65	795.72
103	102	0.32	0.79	0.25	0.27	15.8	4.29	1.16	12"	0.35	0.06	159	3.49	0.8	2.74	795.67	800.22	800.37	795.12	794.57
102	101	0.12	0.95	0.11	0.38	16.6	4.20	1.61	12"	1.01	0.12	76	5.90	0.2	4.65	794.79	800.37	798.80	794.47	793.70
101	100	0.06	0.52	0.03	0.41	16.8	4.19	1.72	12"	0.31	0.12	61	3.28	0.3	2.58	794.48	798.80	800.31	793.60	793.41
100	23	0.00	0.00	0.00	6.55	18.2	4.05	26.09	30"	0.22	0.24	18	5.10	0.1	25.01	791.61	800.31	797.35	789.11	789.07
23	22	0.33	0.69	0.23	6.78	18.3	4.04	26.96	30"	0.31	0.26	29	6.00	0.1	29.68	791.43	797.35	797.37	788.94	788.85
																791.35	= Downstream H.G.L. based on crown elevation of existing pipe at CB-22			



PROFILE: EX YB 100 to EX YB 25

SCALE: HORIZ. 1in. = 20ft.  
VERT. 1in. = 4ft.



PROFILE: EX CB-111 to EX CB-113

SCALE: HORIZ. 1in. = 20ft.  
VERT. 1in. = 4ft.

811

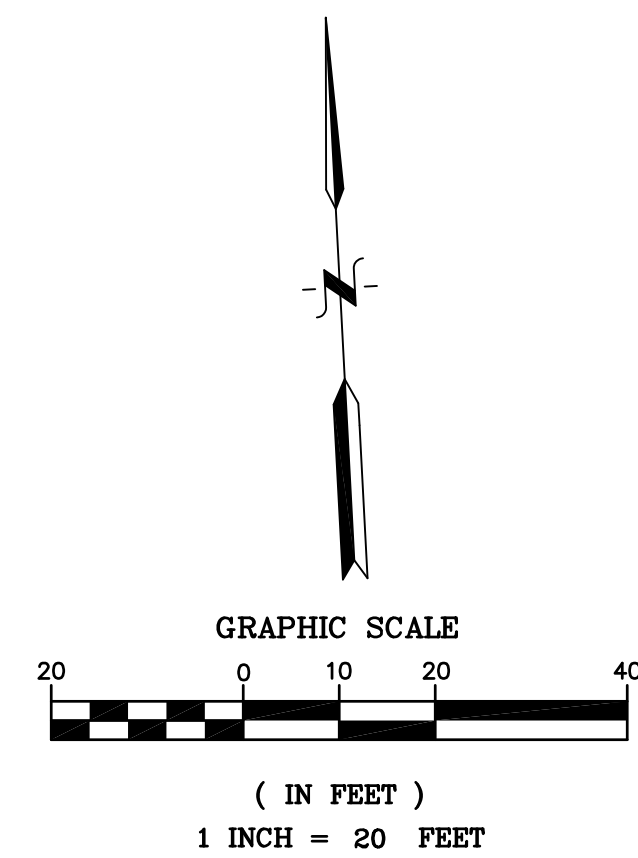
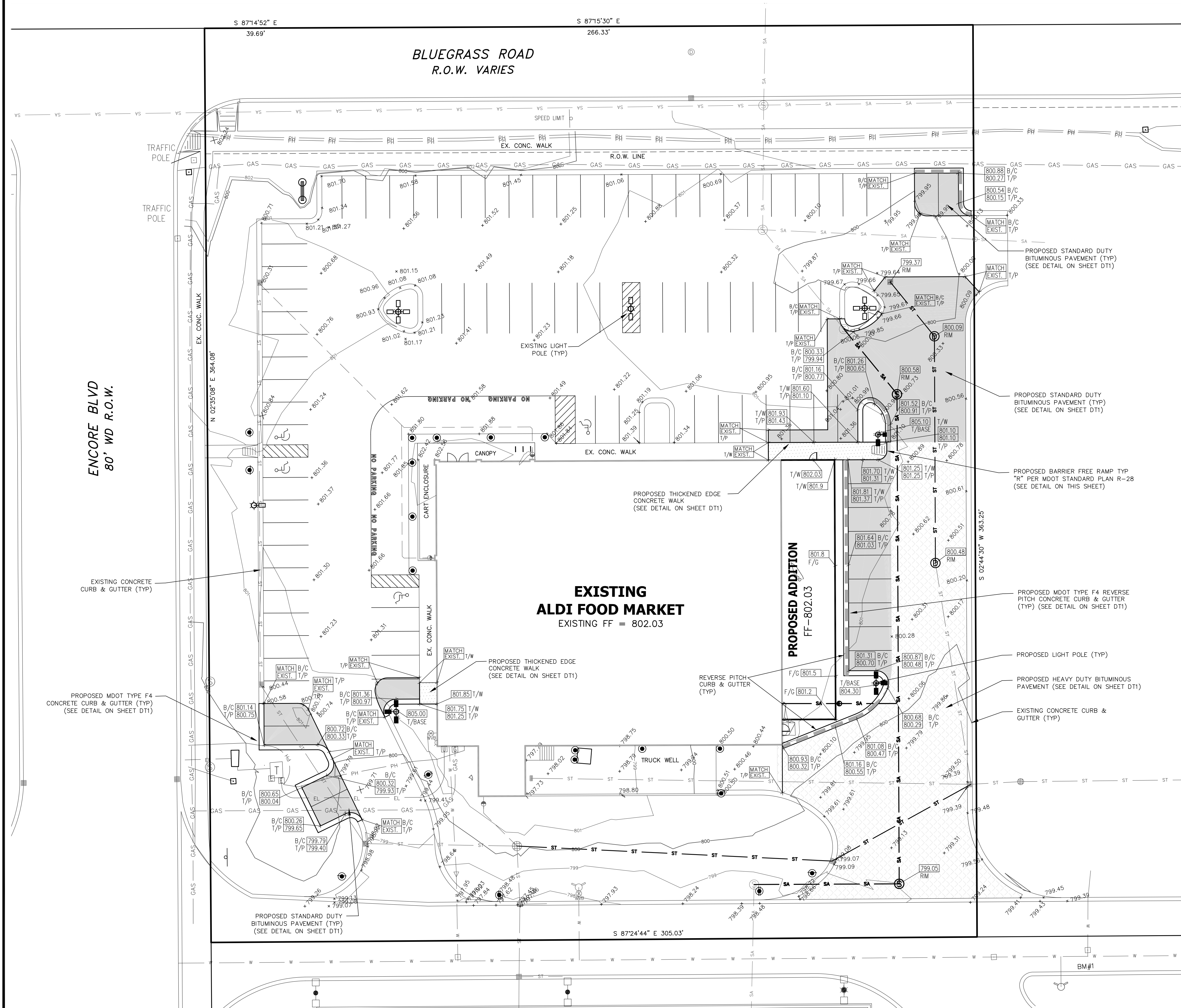
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BRIGHTON, MICHIGAN 48114





**BENCHMARK**

BENCHMARKS CARRIED OVER FROM PREVIOUS JOB 111805

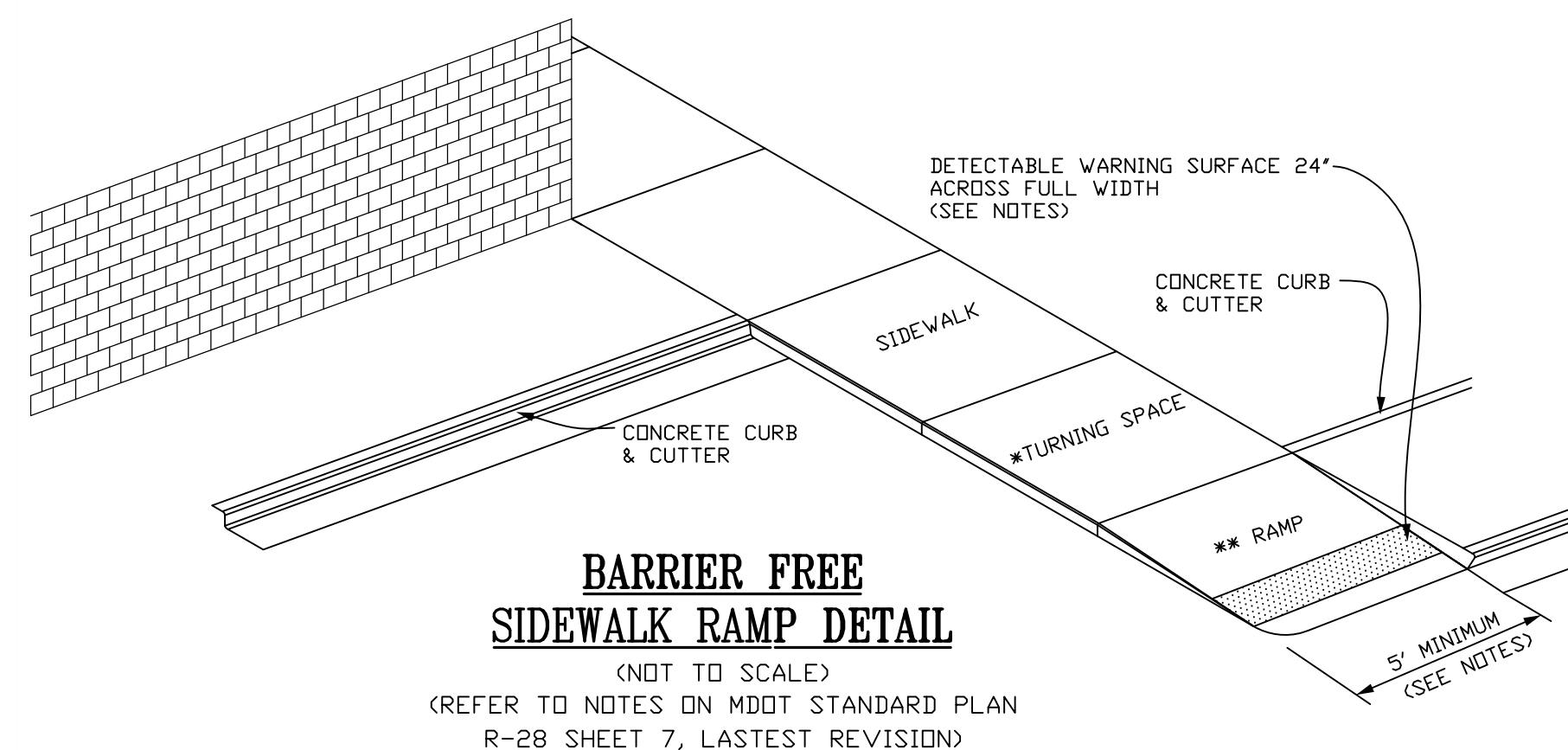
BENCHMARK #1:  
HYDRANT, LOCATED SOUTH SIDE OF PROPERTY AND DRIVE, 350± FEET OF ENCORE DRIVE.  
ELEVATION = 799.45 (LOCAL DATUM - ISABELLA CO. ROAD COMMISSION - SITE PLAN BY SSOE, INC. JOB No. 052044-00)

BENCHMARK #2  
ARROW ON HYDRANT, LOCATED IN NORTHEAST QUADRANT OF BLUEGRASS AND ENCORE DRIVE.  
ELEVATION = 805.81 (LOCAL DATUM - ISABELLA CO. ROAD COMMISSION - SITE PLAN BY SSOE, INC. JOB No. 052044-00)  
NOTE: BM NOT ON SITE PLAN

**LEGEND**

- PROPERTY LINE
- EX. EASEMENT LINE
- BUILDING SETBACK
- EX. SIGN
- EX. MISC. FIXTURE, AS LABELED
- EX. CURB
- EX. EDGE OF PAVEMENT
- EX. SANITARY SEWER
- EX. MANHOLE
- EX. STORM SEWER
- EX. CATCHBASIN
- EX. YARD BASIN
- EX. WATER MAIN
- EX. HYDRANT
- EX. LIGHT POLE
- EX. GAS LINE
- EX. U/G UTILITY LINE
- EX. UTILITY POLE
- EX. 1' CONTOUR
- EX. 5' CONTOUR
- PROP. 2' CONC. CURB
- PROP. EDGE OF PAVEMENT
- PROP. EASEMENT LINE
- PROP. SANITARY SEWER
- PROP. SANITARY MANHOLE
- PROP. WATER MAIN
- PROP. WATER SHUTOFF
- PROP. STORM SEWER
- PROP. CATCHBASIN
- PROP. STORM MANHOLE
- PROP. CLEANOUT
- PROP. UNDERDRAIN
- PROP. LIGHT POLES
- PROP. SIGNS
- PROP. CONTOUR
- PROP. SPOT ELEV.
- BACK OF CURB
- E/M
- T/W
- T/P
- T/PVMT
- GND
- EX. SPOT ELEV.
- DRAINAGE FLOW ARROW

- \* MAXIMUM TURNING SPACE SLOPE IS 2.0% IN EACH DIRECTION OF TRAVEL. MINIMUM DIMENSIONS 5' x 5'
- \*\* MAXIMUM RAMP CROSS SLOPE IS 2.0%. RUNNING SLOPE 5% - 7% (8.3% MAXIMUM).



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DESIGN: CAG	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: SES						
CHECK: CAG						

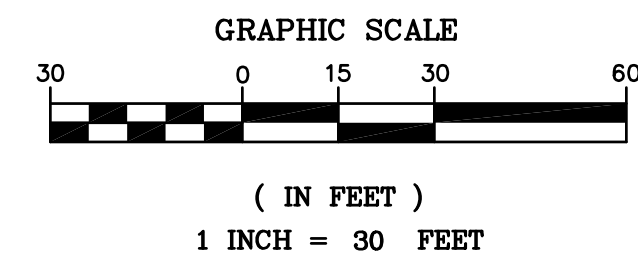
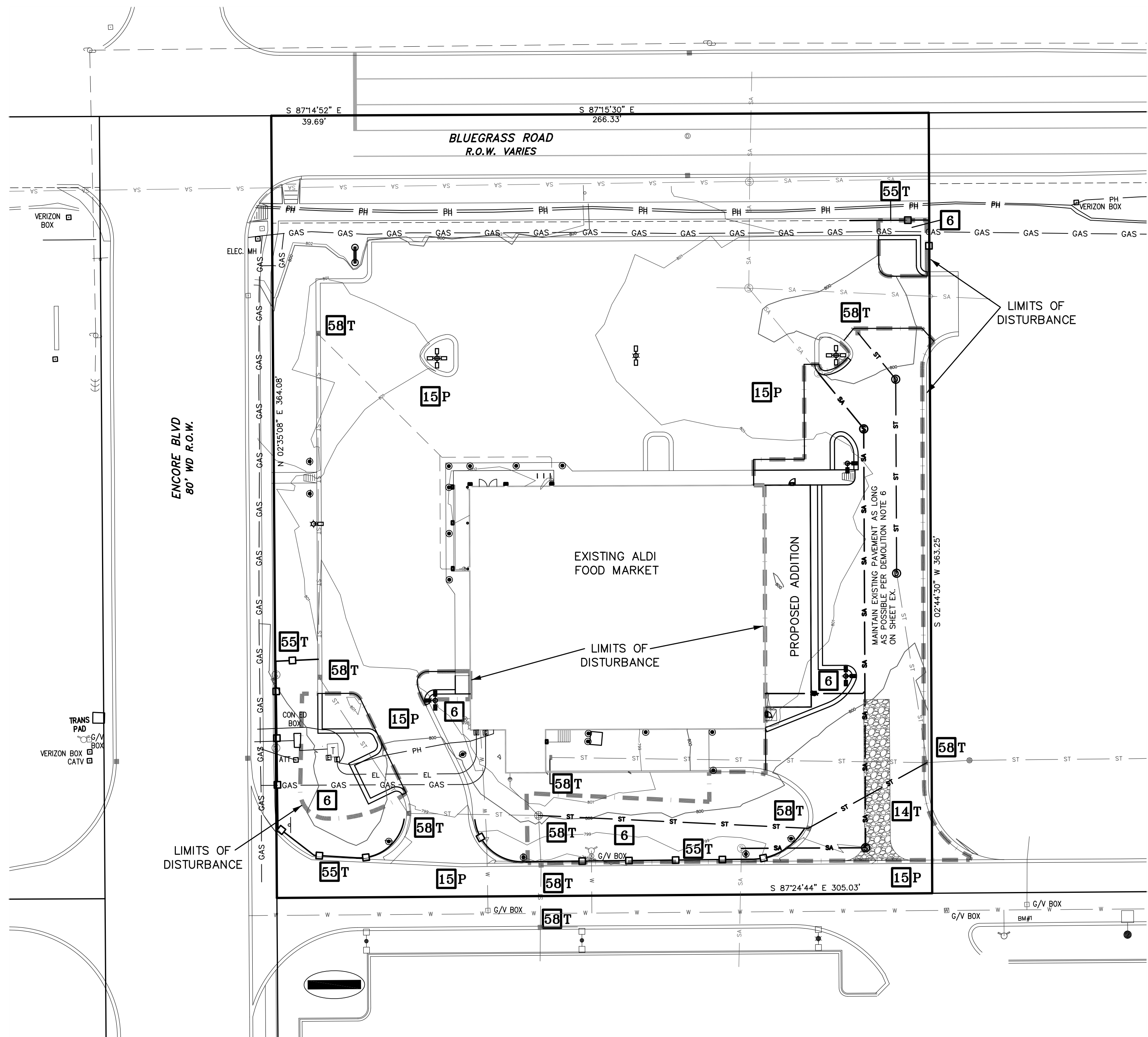
ALDI FOOD MARKET #53  
MT. PLEASANT, MI

GRADING & PAVING PLAN

CLIENT:	SCALE: 1in = 20ft.
ALDI, Inc.	PROJECT No.: 173289
2625 N. STOCKBRIDGE RD.	DWG NAME: 3289 GR
WEBBERVILLE, MI 48892	ISSUED:
(517) 521-3907	

GR





## LEGEND

### LEGEND

—	PROPERTY LINE
—	EX. EASEMENT LINE
—	BUILDING SETBACK
—	EX. SIGN
—	EX. MISC. FIXTURE, AS LABELED
—	EX. CURB
—	EX. EDGE OF PAVEMENT
—	EX. SANITARY SEWER
—	EX. MANHOLE
—	EX. STORM SEWER
—	EX. CATCHBASIN
—	EX. YARD BASIN
—	EX. WATER MAIN
—	EX. HYDRANT
—	EX. LIGHT POLE
—	EX. GAS LINE
—	EX. U/G UTILITY LINE
—	EX. UTILITY POLE
—	EX. 1' CONTOUR
—	EX. 5' CONTOUR
—	PROP. 2" CONC. CURB
—	PROP. EDGE OF PAVEMENT
—	PROP. EASEMENT LINE
—	PROP. SANITARY SEWER
—	PROP. SANITARY MANHOLE
—	PROP. WATER MAIN
—	PROP. WATER SHUTOFF
—	PROP. STORM SEWER
—	PROP. CATCHBASIN
—	PROP. STORM MANHOLE
—	PROP. CLEANOUT
—	PROP. UNDERDRAIN
—	PROP. LIGHT POLES
—	PROP. SIGNS

## SOIL EROSION MEASURES

6	VEGETATION WITH MULCH AND/OR WATERSHED	PROTECTS EXISTING VEGETATION COVER. EFFECTIVE FOR MINIMIZING EROSION. EASILY PLACED IN SMALL QUANTITIES BY UNEXPERIENCED PERSONNEL. SHOULD INCLUDE PREPARED TYPICAL DETAIL.
14	ROCK/STONE COVER	STABILIZES SOIL SURFACE, PREVENTS WINDING EROSION. FORMER CONSTRUCTION TRAILS IN AROUSE WATERSHED MAY BE USED AS PART OF PERMANENT BASE CONSTRUCTION OF PAVED AREAS.
15	FRINGE	PROTECTS AREAS WHICH CANNOT OTHERWISE BE PROTECTED, BUT INCREASES RUNOFF. VOLUME AND VELOCITY. IRREGULAR SURFACE WILL HELP SLOW VELOCITY.
55	SEDIMENTATION SOIL FENCE	USES GEOTEXTILE AND POSTS OR PILES. MAY BE CONSTRUCTED OR PREPARED. MUST TO CONSTRUCT AND LOCATE AS NECESSARY.
58	TRAIL SEDIMENT FENCE	USES PREPARED GEOTEXTILE SPOCS. FILLED SEDIMENT FROM RUNOFF AT CATCH BASIN INLET. EASY TO INSTALL AND MAINTAIN.

T = TEMPORARY P = PERMANENT

TOTAL DISTURBED AREA = 0.55 ACRES

## BENCHMARK

BENCHMARK #1:  
HYDRANT, LOCATED SOUTH SIDE OF PROPERTY AND DRIVE, 350± FEET EAST OF ENCORE BLVD. AND 350± FEET SOUTH OF BLUEGRASS ROAD.  
ELEVATION = 799.45 (LOCAL DATUM - ISABELLA CO. ROAD COMMISSION - SITE PLAN BY SSOE, INC. JOB No. 052044-00)

BENCHMARK #2:  
HYDRANT, LOCATED IN NORTHEAST QUADRANT OF BLUEGRASS ROAD AND ENCORE BLVD.  
ELEVATION = 804.74 (LOCAL DATUM - ISABELLA CO. ROAD COMMISSION - SITE PLAN BY SSOE, INC. JOB No. 052044-00)



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DESIGN: CAG	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: SES						
CHECK: CAG						

ALDI FOOD MARKET #53  
MT. PLEASANT, MI

SOIL EROSION AND  
SEDIMENTATION  
CONTROL PLAN

CLIENT:  
ALDI, Inc.  
2625 N. STOCKBRIDGE RD.  
WEBBERVILLE, MI 48892  
(517) 521-3907

SCALE: 1in = 30ft.  
PROJECT No.: 173289  
DWG NAME: 3289 SE  
ISSUED: APRIL 6, 2018

SE1



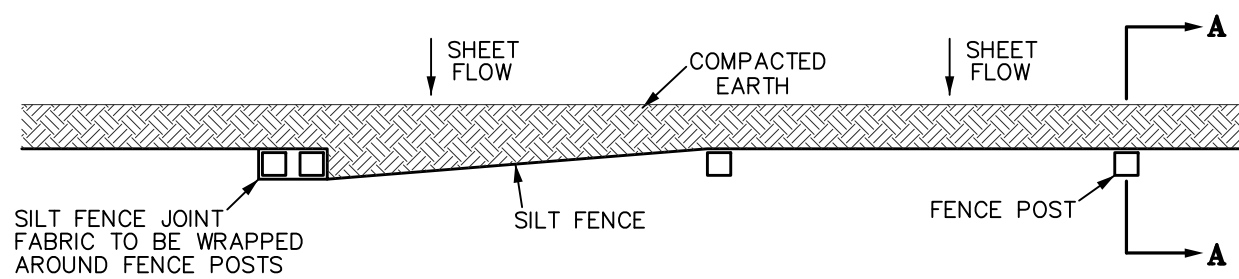


Map Unit Legend

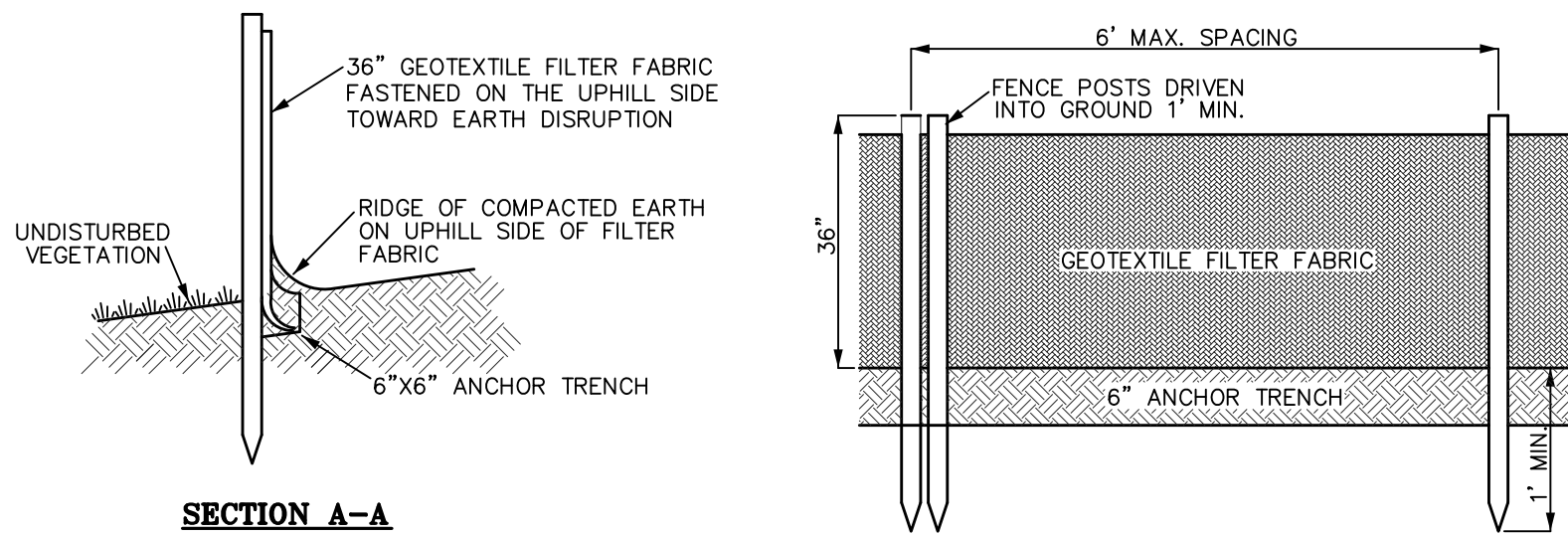
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
60B	Quartz loam, 2 to 6 percent slopes	2.7	100.0%
Totals for Area of Interest		2.7	100.0%

## SOILS MAP

NOT TO SCALE



PLAN VIEW



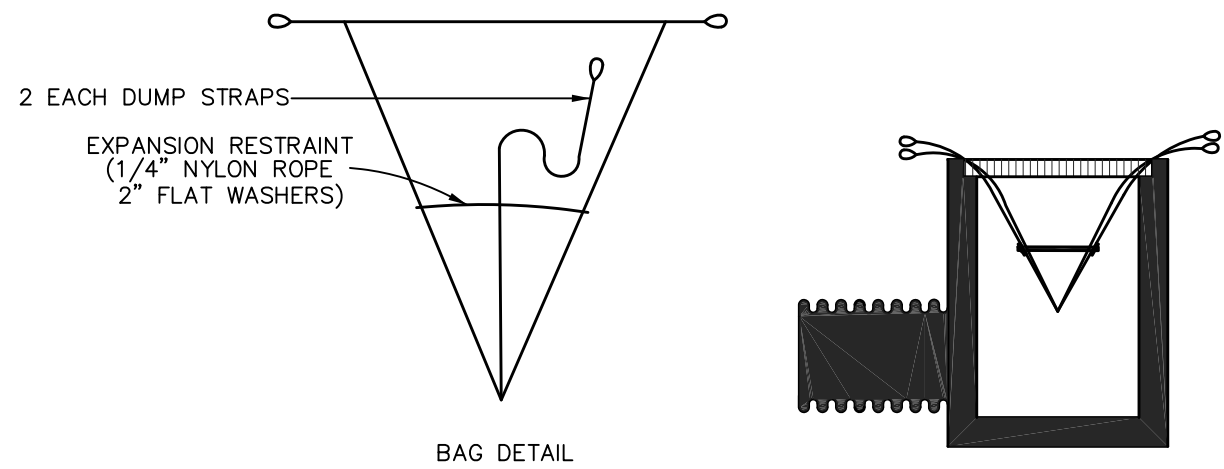
FRONT VIEW

## 55 SILT FENCE

NOT TO SCALE

### NOTES:

1. REPAIR AND REPLACE SILT FENCE AS NEEDED, INCIDENTAL.
2. FIELD LOCATE SILT FENCE TO FOLLOW CONSTANT CONTOUR ELEVATIONS.
3. OVERLAP FENCES AT JOINTS.
4. INSTALL FILTER BERM AT LOW POINTS WHERE INDICATED ON PLANS.



## 58 INLET SEDIMENT FILTER

NOT TO SCALE

TIME LINE OF SOIL EROSION CONTROL AND CONSTRUCTION SEQUENCE																													
CONSTRUCTION & WORK CATEGORIES*		CONSTRUCTION PERIOD																											
		Month				April				May				June				July				August				Sept			
		Week	1	2	3	4	1	2	3	4	1	2	3	4	1	2	3	4	1	2	3	4	1	2	3	4			
1. OBTAIN PERMITS																													
2. INSTALL INITIAL SESC MEASURES																													
3. INSPECT & MAINTAIN SESC MEASURES																													
4. DEMOLITION WORK																													
5. BUILDING CONSTRUCTION																													
6. UNDERGROUND UTILITY WORK																													
7. SITE LIGHTING WORK																													
8. CURB, SIDEWALK & PAVEMENT WORK																													
9. BACKFILL & FINISH GRADE WORK																													
10. TOPSOIL, SEED & MULCH																													
11. LANDSCAPE WORK																													
12. REMOVE TEMPORARY SESC MEASURES																													
*REFER TO THE MAJOR WORK ITEMS OUTLINED IN THE SOIL EROSION CONTROL AND CONSTRUCTION SEQUENCE NOTES.																													

## SOIL EROSION CONTROL AND CONSTRUCTION SEQUENCE:

1. Obtain all necessary Soil Erosion and Sedimentation Control related permits from the appropriate Local, County and/or State Agencies. Refer to the General Notes on the project plans for additional requirements.
2. Prior to commencement of any earth disruption, install Silt Fence, Tree Protection, Mud Tracking Control Devices, and Inlet Sediment Filters at existing storm sewer catch basins in accordance with the Soil Erosion and Sedimentation Control Plan and the Soil Erosion and Sedimentation Control Permit.
3. Inspect and maintain all Soil Erosion Control Measures daily. Maintain all Soil Erosion Control Measures as necessary and as directed by the Engineer and/or the Permitting Agency.
4. Perform demolition work. Install appropriate Soil Erosion Control Measures in accordance with the Soil Erosion and Sedimentation Control Plan and/or as directed by the Engineer and/or the Permitting Agency.
5. Construct building addition in accordance with the Project Plans. Install appropriate Soil Erosion Control Measures in accordance with the Soil Erosion and Sedimentation Control Plan and/or as directed by the Engineer and/or the Permitting Agency.
6. Construct underground utilities including sanitary sewer and storm sewer. Install appropriate Soil Erosion Control Measures in accordance with the Soil Erosion and Sedimentation Control Plan and/or as directed by the Engineer and/or the Permitting Agency.
7. Install light pole bases, fixtures and underground electric. Install appropriate Soil Erosion Control Measures in accordance with the Soil Erosion and Sedimentation Control Plan and/or as directed by the Engineer and/or the Permitting Agency.
8. Construct curb & gutter, sidewalk and paved parking and roadway areas. Install appropriate Soil Erosion Control Measures in accordance with the Soil Erosion and Sedimentation Control Plan and/or as directed by the Engineer and/or the Permitting Agency.
9. Backfill curb and sidewalks and finish grade all disturbed areas outside of pavement areas. Install appropriate Soil Erosion Control Measures in accordance with the Soil Erosion and Sedimentation Control Plan and/or as directed by the Engineer and/or the Permitting Agency.
10. Place topsoil and hydroseed within 5 days of finish grade for establishment of vegetative ground cover outside of pavement and mulched landscape bed areas. Install appropriate Soil Erosion Control Measures in accordance with the Soil Erosion and Sedimentation Control Plan and/or as directed by the Engineer and/or the Permitting Agency.
11. Landscape site in accordance with the Landscape Plan. Install appropriate Soil Erosion Control Measures in accordance with the Soil Erosion and Sedimentation Control Plan and/or as directed by the Engineer and/or the Permitting Agency.
12. Following establishment of sufficient vegetative ground cover and receipt of approval from the Permitting Agency, remove all *temporary* Soil Erosion Control Measures, clean all storm sewer structures, and repair any permanent Soil Erosion Control Measures as directed by the Engineer and/or the Permitting Agency.

## MAINTENANCE NOTES FOR SOIL EROSION CONTROL MEASURES:

The Construction Site and all Soil Erosion Control Measures shall be inspected periodically in accordance with the appropriate local municipality/authority and the MDEQ NPDES rules and regulations. At a MINIMUM, inspections shall be performed once a week and within 24 hours following a storm event resulting in 1" of rainfall or greater. Inspections shall be performed throughout the duration of the construction process and until the site is completely stabilized. Following construction, the owner (or its assignee) shall periodically inspect all permanent soil erosion control measures to ensure proper operation.

**CATCH BASINS:** Catch basins shall be inspected for accumulation of solids and sediment. Solids and sediment shall be removed from the catch basins by vacuum or adductor cleaning. Cleaning should be performed before the catch basin sumps are half full.

**MUD TRACKING CONTROL DEVICE / CONSTRUCTION ACCESS:** Mud tracking control devices shall be inspected for significant mud accumulation and to ensure the access is not eroding into public rights of way or drainage features. Add additional layers of stone or remove and replace stone each time the stone becomes covered with mud. All sediment dropped or eroded onto public rights of way shall be removed immediately. Sweeping of the public rights of way and/or paved access route shall be performed as necessary to maintain the access route free of sediment and debris.

**SEEDING:** Newly seeded areas shall be inspected until substantial vegetative growth is obtained. Seeded areas shall be inspected to ensure erosion is not occurring in the seeded area and vegetative growth is promoted. Eroded areas shall be finish graded as necessary to removal erosion channels or gulleys and new seed placed as soon as weather permits.

**SILT FENCE:** Silt fencing shall be inspected for soil accumulation/clogging, undercutting, overtopping and sagging. Soil accumulation shall be removed from the face of the silt fence each time it reaches half the height of the fence. Removed sediment shall be disposed of in a stable upland site or added to a spoils stockpile. When undercutting occurs, grade out areas of concentrated flow upstream of the silt fence to remove channels and/or gulleys and repair or replace silt fence ensuring proper trenching techniques are utilized. Silt fencing, which sags, falls over or is not staked in shall be repaired or replaced immediately. Silt fencing fabric, which decomposes or becomes ineffective, shall be removed and replaced with new fabric immediately. Silt fencing shall be removed once vegetation is well established and the up-slope area is fully stabilized.

**SOD:** Newly sodded areas shall be inspected to ensure sod is maturing. Sod shall be inspected for failure, erosion or damage. Slipping or eroding sod on steep slopes shall be immediately repaired or replaced and staked in place. Damaged or failed sod shall be immediately replaced.

**STORM STRUCTURE INLET FILTER:** Inlet filters shall be inspected for sediment accumulation, clogging and damage. When stone is used in conjunction with inlet filter fabric, replace the stone each time it becomes clogged with sediment. Clean or replace the inlet filter fabric each time it becomes clogged with sediment. Reinstall or replace fallen filter fabrics immediately. Replace damaged filter fabrics immediately.

## SOIL EROSION AND SEDIMENTATION CONTROL NOTES:

1. The Soil Erosion and Sedimentation Control Specifications of the appropriate Local, County and/or State Agencies are a part of this work. Refer to the General Notes on the Project Plans for additional requirements.
2. The Soil Erosion and Sedimentation Control (SESC) Permit Holder shall be responsible for compliance with the SESC Permit requirements for the duration of the project and until receipt of final approval from the Permitting Agency. For any site with an earth disturbance area of 1 acre or greater, the SESC Permit Holder shall retain a Certified Storm Water Operator in accordance with the SESC Permit requirements. The Certified Storm Water Operator shall perform routine inspections of the site and the SESC measures and file inspection reports in accordance with the SESC permit requirements. For any site with an earth disturbance area of 5 acres or greater, the SESC Permit Holder shall file a National Pollutant Discharge Elimination System (NPDES) Notice of Coverage Form with the State DEQ prior to any earth disruption.
3. The Contractor shall install the appropriate Soil Erosion Control Measures in accordance with the Project Plans prior to massive earth disruption, including but not limited to; silt fence, mud tracking control mats and sediment filters on existing storm sewer structures. Demolition work may be necessary prior to installation of some soil erosion control measures. In such cases, postpone installation of affected soil erosion control measures until immediately following demolition work. Refer to the Project Plans and the Soil Erosion Control and Construction Sequence for additional requirements.
4. The Contractor shall schedule work so as to minimize the period of time that an area is exposed and disturbed. The Contractor shall observe the grading limits and limits of disturbance in accordance with the Project Plans. The Contractor shall maintain an undisturbed vegetative buffer around the work when shown on the Project Plans.
5. The Contractor shall install and maintain Soil Erosion Control Measures in accordance with the Project Plans during the appropriate phases of construction. The Project Plans show the minimum requirements for Soil Erosion Control Measures. The Contractor shall install additional Soil Erosion Control Measures as necessary due to site conditions and as directed by the Permitting Agency and/or Engineer. The Contractor shall perform routine inspection and maintenance of all Soil Erosion Control Measures to ensure compliance with the permit requirements and proper operation of the Soil Erosion Control Measures.
6. All disturbed areas outside of paved areas shall be restored within 5 days of finish grading. Proposed vegetative areas shall be restored with a minimum of 3-inches of topsoil, then seeded and mulched, unless noted otherwise on the Project Plans. During the non-growing season, temporary stabilization shall be provided using straw matting or as directed by the Permitting Agency and/or the Engineer.
7. Following complete site restoration and stabilization; sediment shall be removed from all storm sewer structures, paved areas and storm basins. The SESC Permit Holder shall contact the Permitting Agency to request closure of the SESC Permit. For any site with an earth disturbance area of 5 acres or greater, the SESC Permit Holder shall file a NPDES Notice of Termination Form with the State DEQ.

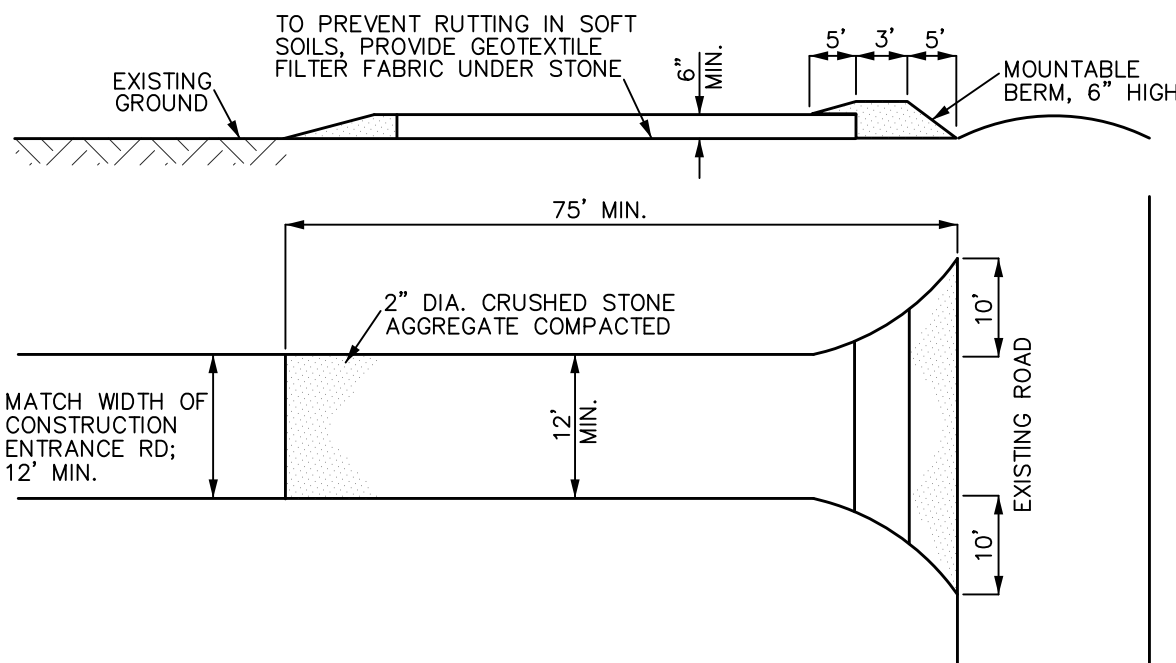
## SOIL EROSION MEASURES

6	SEEDING WITH MULCH AND/OR MATTING	FACILITATES ESTABLISHMENT OF VEGETATIVE COVER EFFECTIVE FOR DRAINWAYS WITH LOW VELOCITY. EASILY PLACED IN SMALL QUANTITIES BY INEXPERIENCED PERSONNEL. SHOULD INCLUDE PREPARED TOPSOIL BED.
14	AGGREGATE COVER	STABILIZES SOIL SURFACE, THUS MINIMIZING EROSION. PERMITS CONSTRUCTION TRAFFIC IN ADVERSE WEATHER. MAY BE USED AS PART OF PERMANENT BASE CONSTRUCTION OF PAVED AREAS.
15	PAVING	PROTECTS AREAS WHICH CANNOT OTHERWISE BE PROTECTED, BUT INCREASES RUNOFF, VOLUME AND VELOCITY. IRREGULAR SURFACE WILL HELP SLOW VELOCITY.
55	GEOTEXTILE SILT FENCE	USES GEOTEXTILE AND POSTS OR POLES. MAY BE CONSTRUCTED OR PREPACKAGED. EASY TO CONSTRUCT AND LOCATE AS NECESSARY.
58	INLET SEDIMENT FILTER	USES PREPACKAGED GEOTEXTILE SACKS. FILTERS SEDIMENT FROM RUNOFF AT CATCH BASIN INLET. EASY TO INSTALL AND MAINTAIN.

T = TEMPORARY P = PERMANENT

**TOTAL DISTURBED AREA = 0.55 ACRES**

SEE SEEDING DETAIL & NOTES  
ON SHEET LA2 FOR  
ADDITIONAL INFORMATION



## 14 MUD TRACKING CONTROL DEVICE

NOT TO SCALE

### NOTE:

WHEN ACCEPTABLE TO ENGINEER, CONTRACTOR MAY INSTALL STONE BELOW THE SUBGRADE ELEVATION; THUS STONE MAY BE LEFT IN PLACE BELOW PAVEMENT.

ALDI FOOD MARKET #53  
MT. PLEASANT, MI

SOIL EROSION CONTROL  
NOTES & DETAILS

CLIENT:

ALDI, INC.  
2625 N. STOCKBRIDGE RD.  
WEBBERVILLE, MI 48892  
517-521-3907

SCALE: AS NOTED

PROJECT No.: 173289

DWG NAME: 3289 SE

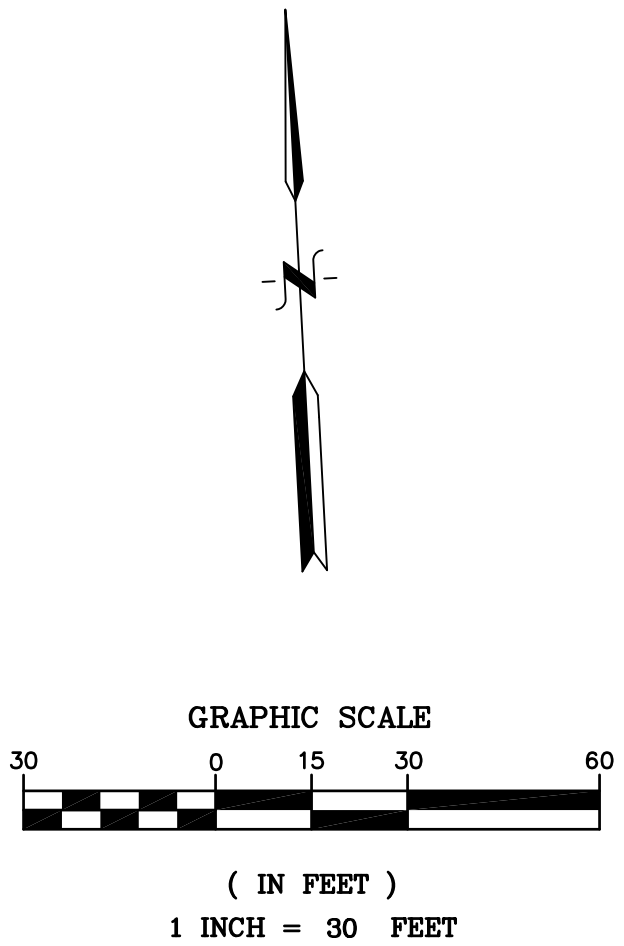
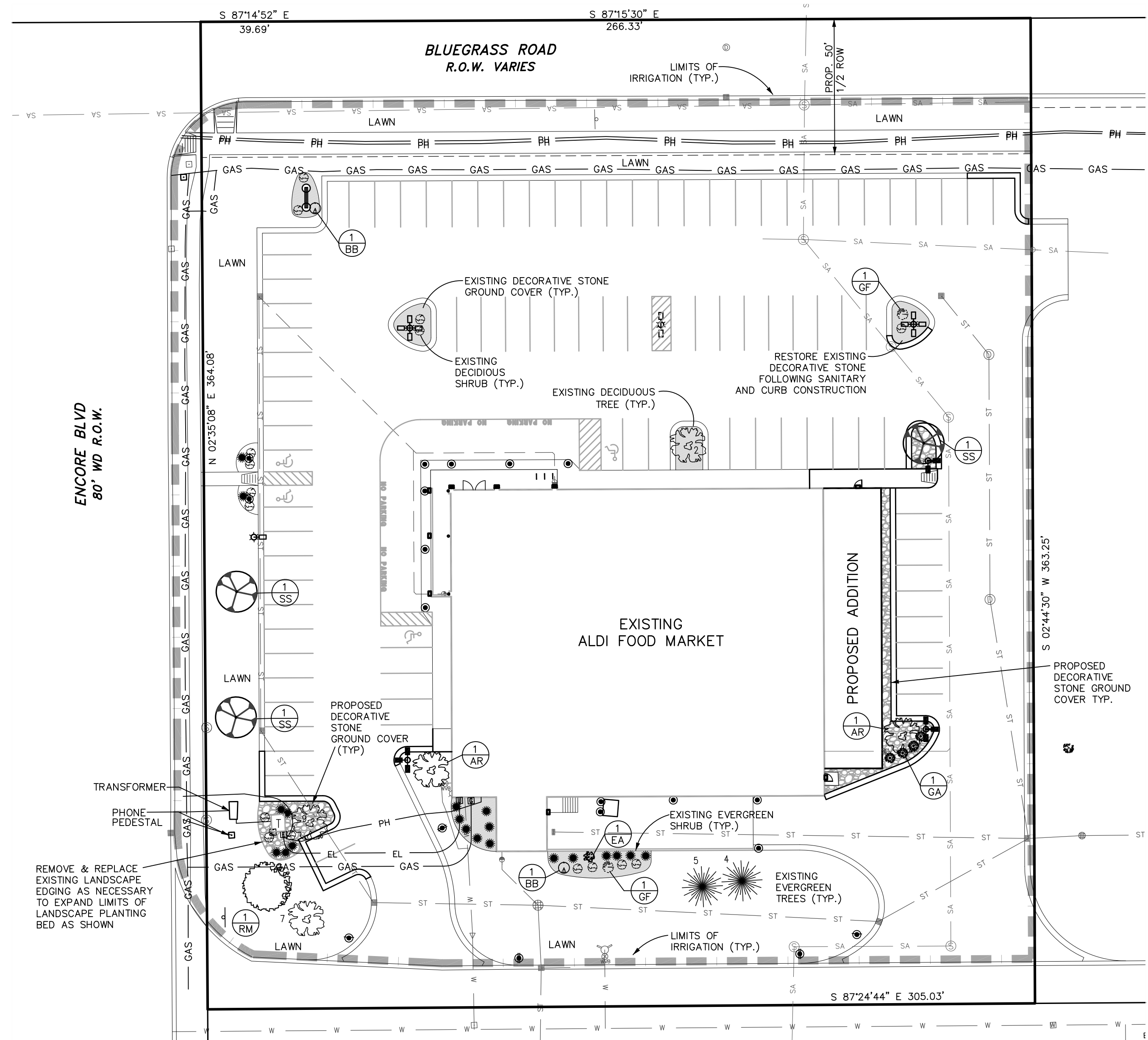
ISSUED: APRIL 6, 2018

SE2

**DESIGN INC**  
(810) 227-9533  
CIVIL ENGINEERS  
LAND SURVEYORS  
2183 PLESS DRIVE  
BRIGHTON, MICHIGAN 48114

DESIGN: CAG	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: JHG						
CHECK: CAG						






LANDSCAPE PLANT KEY

- DECIDUOUS TREE
- ORNAMENTAL TREE
- SHRUB PLANTINGS
- QUANTITY
- PLANT NAME SYMBOL
- DECORATIVE ROCK COVER

PROPOSED LANDSCAPE PLANTING LEGEND					
KEY	QUANTITY	BOTANICAL NAME	COMMON NAME	MINIMUM SIZE	ROOT
DECIDUOUS TREES					
RM	1	Acer rubrum	Red Maple	2" Caliper	B & B
ORNAMENTAL TREES					
AR	2	Cercis Canadensis	American Red Bud	1.5" Caliper	B & B
SS	3	Malus 'Spring Snow'	Spring Snow Crabapple	1.5" Caliper	B & B
DECIDUOUS SHRUBS					
BB	2	Euonymus alata 'Compacta'	Dwarf Burning Bush	18" Height	Container
GF	2	Spirea x Bumalda 'Gold Flame'	Gold Flame Spirea	18" Height	Container
EVERGREEN SHRUBS					
GA	4	Thuja occidentalis 'Golden Globe'	Golden Globe Arborvitae	18" Height	Container

- EXISTING ONSITE TREE SCHEDULE:
- 1 3" PEAR (TBR)
  - 2 5" PEAR
  - 3 3" PEAR (TBR)
  - 4 3" SPRUCE
  - 5 3" SPRUCE
  - 6 3" REDBUD (TBR)
  - 7 3" PEAR
  - 8 3" PEAR
  - 9 3" PEAR
  - 10 3" MAPLE (TBR)

NOTE:  
ALL LAWN AND LANDSCAPE AREAS, INCLUDING PARKING ISLANDS, LOCATED WITHIN THE "LIMITS OF IRRIGATION" SHALL BE IRRIGATED. SEE LANDSCAPE NOTE 21 ON SHEET LA2 FOR IRRIGATION SYSTEM AND METERING REQUIREMENTS.



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DESIGN: CAG	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: SES						
CHECK: CAG						

ALDI FOOD MARKET #53  
MT. PLEASANT, MI

LANDSCAPE PLAN

CLIENT:	SCALE: 1in = 30ft.
ALDI, Inc.	PROJECT No.: 173289
2625 N. STOCKBRIDGE RD.	DWG NAME: 3289 LA
WEBBERVILLE, MI 48892	ISSUED: APRIL 6, 2018
(517) 521-3907	

LA1



LANDSCAPE NOTES

1. All minimum planting sizes specified on the Project Plans shall be at the time of planting.
2. All landscape materials shall be as specified on the Project Plans or approved equal. Substitutions shall not be made without prior written approval from the Project Engineer and receipt of the Owner's Authorization.
3. All plant material shall be free of disease and insects and shall conform to the American Standard of Nursery Stock of the American Association of Nurserymen.
4. All landscape plantings shall be planted and maintained in a healthy condition and shall be guaranteed by the Landscape Contractor and/or Supplier for a minimum period of 1 year from the time of planting. Any plantings that die or become diseased during the guarantee period shall be removed and replaced by the Landscape Contractor and/or Supplier at no cost to the Owner.
5. Excavations for container or balled plantings shall be no deeper than the root ball or container and shall be at least twice the diameter of the root ball or container.
6. Excavations for bare root plantings shall be no deeper than the longest roots and shall be at least twice the diameter of the root spread.
7. The sides of planting excavations in heavy and/or wet soils shall be scarified with a fork, pick or shovel to eliminate glazing.
8. Landscape planting backfill shall consist of a prepared mixture of peat moss, composted manure and topsoil or suitable excavated native soil material mixed with the appropriate soil conditioners that are compatible with the native soil and plant species. The type and mixture ratio of soil conditioners shall be in accordance with the Landscape Supplier's recommendations.
9. The Landscape Contractor shall stake and reinforce all trees to prevent wind damage. The Landscape Contractor shall remove all tree reinforcement and stakes upon expiration of the guarantee period.
10. Perennials shall be planted on a 3" minimum bed of prepared peat moss, composted manure and topsoil mixture.

11. Landscape beds shall be separated from lawn areas with landscape edging. Landscape edging shall be black heavy-duty polyethylene type with UV protection and a double V-lip bottom edge to prevent frost heave. Landscape edging shall be staked in accordance with the Manufacturer's specifications and recommendations to prevent frost heave. Landscape edging shall be installed in strict accordance with the Manufacturer's specifications and recommendations.

12. Ground cover within landscape beds shall be decorative stone. Decorative stone shall be 2" to 4" diameter washed river rock placed 4" deep.

13. Ground cover within landscape beds shall be placed over a landscape fabric weed barrier. Landscape fabric shall be non-woven, 4 oz. per sq. yd. minimum weight, with UV protection. Landscape fabric shall be installed in strict accordance with the Manufacturer's specifications and recommendations. Landscape fabric shall not be installed over or within 12 inches of perennial plantings.

14. Lawn areas shall be established with 3" minimum depth of prepared topsoil and hydroseeded. The Landscape Contractor shall guarantee all lawn areas for a minimum period of 1 year from time of seeding. All lawn areas that do not take root or die during the guarantee period shall be re-hydroseeded as appropriate by the Landscape Contractor at no cost to the Owner. All lawn areas that become diseased during the guarantee period shall be removed and re-hydroseeded as appropriate by the Landscape Contractor at no cost to the Owner.

15. Topsoil shall be a dark, organic, natural surface soil free of clay lumps, peat, muck, subsoil, noxious weeds and other foreign material such as roots, sticks and rocks over 1/2" diameter. Topsoil shall not be frozen or muddy. All earthen areas to receive topsoil shall be finish graded and properly trimmed. Topsoil shall be spread on the prepared areas to a depth of 3 inches. After spreading, any large clods and lumps of topsoil shall be broken up and pulverized. Stones and rocks over 1/2" in diameter, roots, litter and all foreign matter shall be raked up and disposed of by the Landscape Contractor. Seed and mulch shall be placed within 5 days of topsoil placement.

16. Seed mixture for lawn areas shall consist of 10% Kentucky Blue Grass, 20% Perennial Rye Grass, 30% Hard Fescue and 40% Creeping Red Fescue. Hydroseed shall be placed within 5 days of topsoil placement and shall be placed to provide complete and uniform coverage. Fertilizer shall be placed at 80 pounds per acre, hydro mulch at 1,200 pounds per acre and water at 500 gallons per acre unless otherwise specified by the Seed Distributor/Manufacturer. All over spray areas shall be properly cleaned and restored at no expense to the contract.

17. Seed and mulch may be substituted for hydroseed when authorized by the Owner. Seed mixtures shall meet the requirements for lawn areas as outlined above. Seed shall be uniformly applied at a rate of 220 lbs per acre unless otherwise recommended by the seed Distributor/Manufacturer. Seed mixture shall be fertilized. Fertilizer shall be uniformly applied at of 240 pounds per acre of chemical fertilizer nutrients in equal portions (10-10-10) of Nitrogen, Phosphoric Acid and Potash.

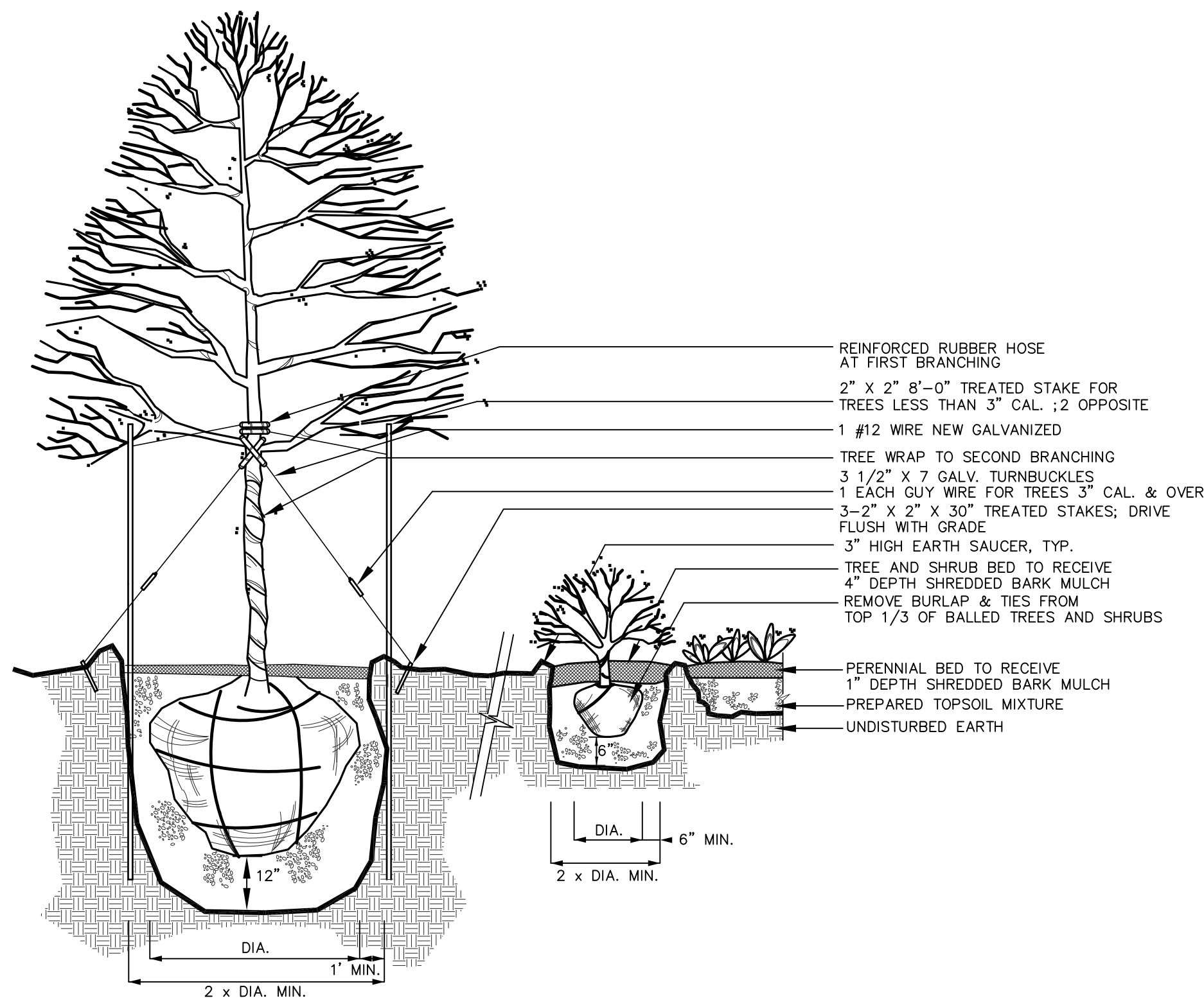
18. All seeded areas with a slope less than 1:4 shall be stabilized with straw mulch placed at 2 tons per acre unless otherwise recommended by the seed Distributor/Manufacturer. Erosion control blankets shall be substituted for straw mulch in roadway greenbelts, lawn areas adjacent to heavy traffic, lawn areas subject to high winds, slopes of 1:4 or greater and within ditches, swales and other areas exposed to concentrated overland storm water flow. Erosion control blankets shall consist of 100% straw fiber matrix with photodegradable polypropylene netting and have a 12-month minimum longevity rating. Erosion control blankets shall be pinned with biodegradable pins and shall be installed in accordance with the Manufacturer's recommendations.

19. Sod shall only be utilized where specified on the project plans. (Sod may be substituted for hydroseed when required by the Municipality or if necessary for site stabilization late in the growing season. Sod shall not be substituted without receipt of the Owner's Authorization.) Sod shall be a drought tolerant species consisting primarily of Fine Leafed Fescues including Red Fescue, Chewings Fescue and Hard Fescue with Kentucky Bluegrass filler for hardness. Sod shall be placed on a prepared subgrade. Subgrade shall be finish graded and tilled to a depth of 4" to 6". All foreign material, roots, sticks, large soil clumps and rocks over 2" diameter shall be removed from the subgrade. Sod shall not be placed on frozen or saturated subgrade. Fertilizer, lime and/or compost shall be placed over the prepared subgrade in accordance with the Sod Supplier/Manufacturer's recommendations. Sod shall be placed in accordance with the Sod Supplier/Manufacturer's recommendations. Sod shall be installed with biodegradable stakes on slopes of 1:4 or greater and within ditches, swales and other areas exposed to concentrated overland storm water flow. All sod shall be planted and maintained in a healthy condition and shall be guaranteed by the Landscape Contractor and/or Supplier for a minimum period of 1 year from the time of planting. Any sod that dies or become diseased during the guarantee period shall be removed and replaced by the Landscape Contractor and/or Supplier at no cost to the Owner.

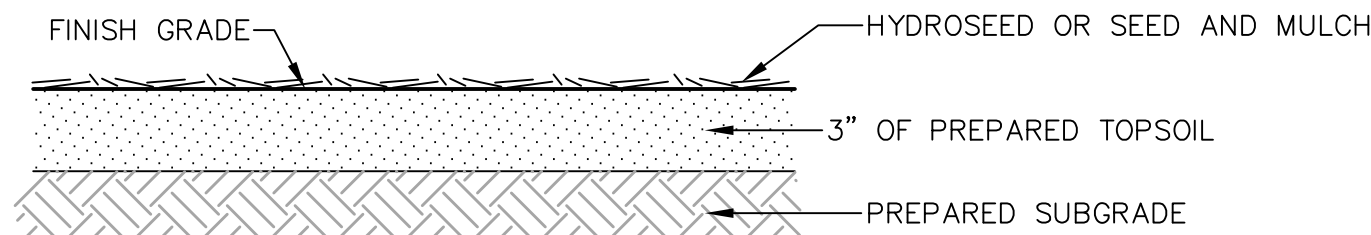
20. The Landscape Contractor shall be responsible for watering non-irrigated plantings and sod during dry weather conditions throughout the guarantee period as necessary to promote growth and establishment.

21. The existing irrigation system shall be modified as a part of this project. The existing irrigation system shall be inspected and tested to determine the limits of irrigation and condition of the irrigation system. The irrigation system shall be modified as necessary to accommodate the proposed site improvements and to provide irrigation to all lawn and landscape areas within the limits of irrigation as shown on the Landscape Plan. All broken, damaged and/or inoperable portions of the existing irrigation system shall be repaired or replaced as necessary. All existing sprinkler heads that are to remain shall be adjusted as necessary for proper operation and coverage. The Contractor shall submit an irrigation system design and shop drawings to the Owner for review and approval prior to installation. Irrigation systems shall be designed to utilize the minimum amount of water necessary to provide sufficient irrigation, satisfy the Local Municipal requirements and site conditions and shall include a rain sensor. A separate water meter, if not already existing, shall be installed as a part of the irrigation system modification to allow for reduced rate metering by the Local Municipality and/or Water Authority. The Contractor shall be responsible for coordinating installation of irrigation lines, sleeves, plumbing connections, controls and appurtenances at the appropriate stages of construction. All existing irrigation lines and systems that are to remain that are cut, plugged, spliced, damaged and/or otherwise modified during demolition and/or construction activities shall be properly repaired, replaced, reconnected and/or adjusted as necessary to ensure proper operation.

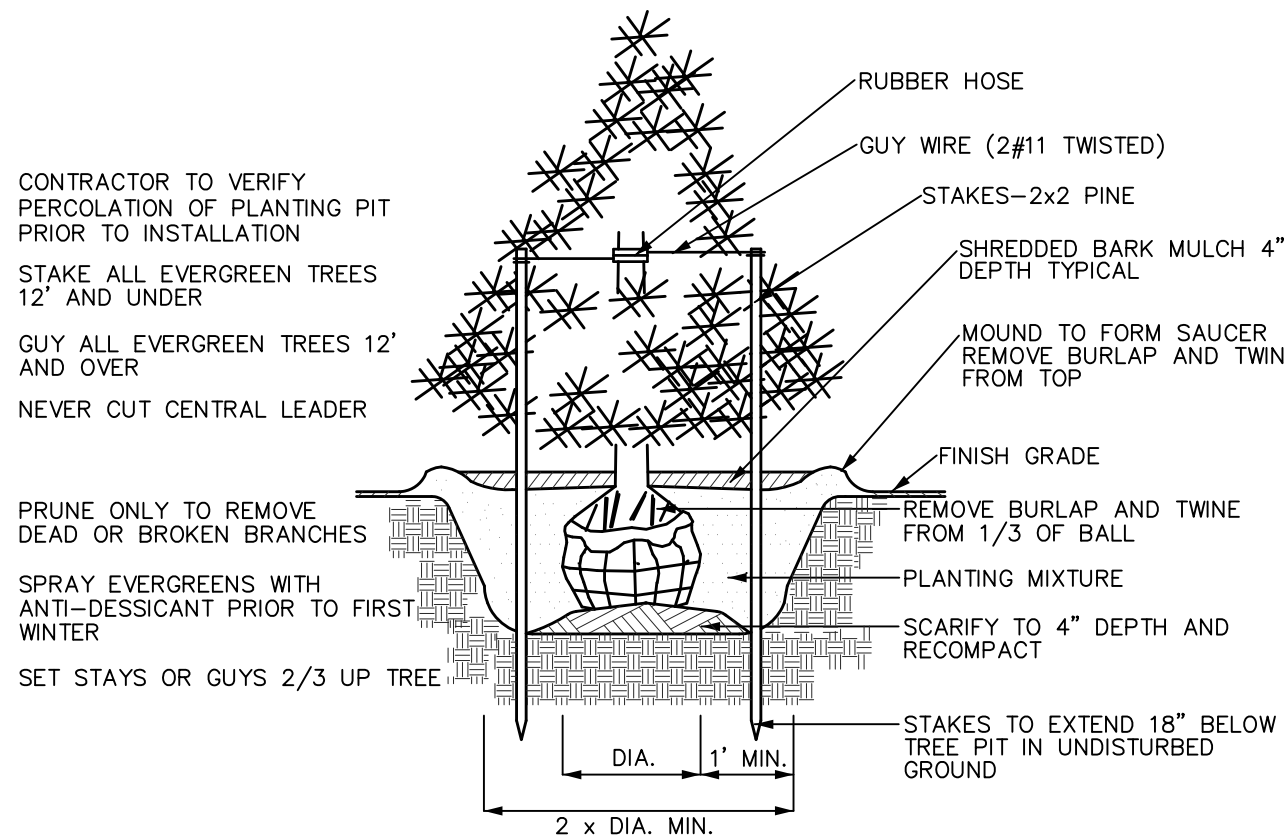
22. All existing on-site trees shall be trimmed / pruned as directed by ALDI Inc.



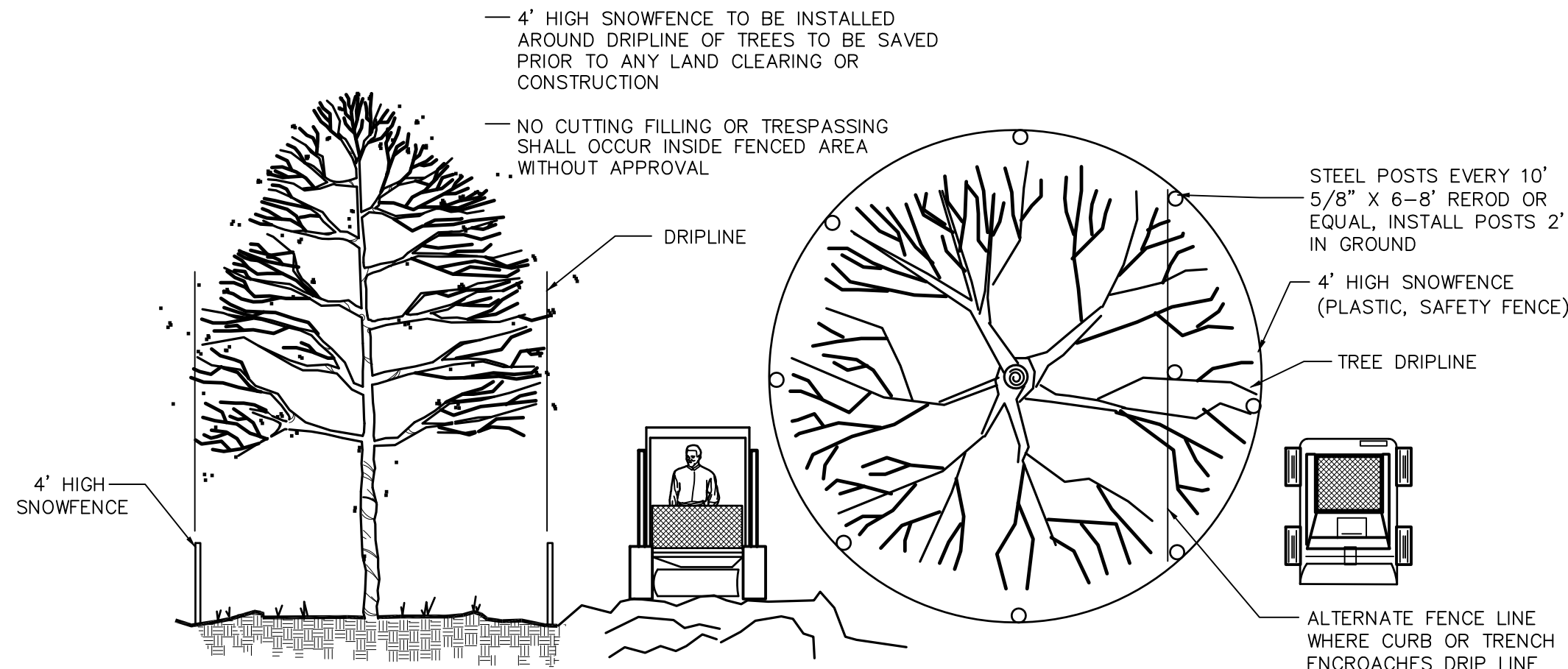
**TYPICAL TREE/SHRUB/PERENNIAL PLANTING**  
NOT TO SCALE



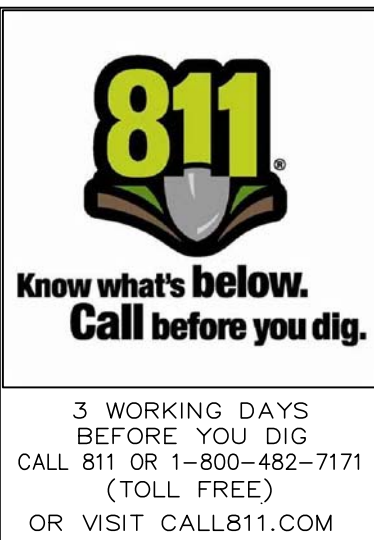
**SEEDING DETAIL**  
NOT TO SCALE



**TYPICAL EVERGREEN TREE PLANTING**  
NOT TO SCALE



**TREE PROTECTION DETAIL**  
NOT TO SCALE



DESIGN: CAG	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DRAFT: SES						
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ALDI FOOD MARKET #53  
MT. PLEASANT, MI

LANDSCAPE DETAILS

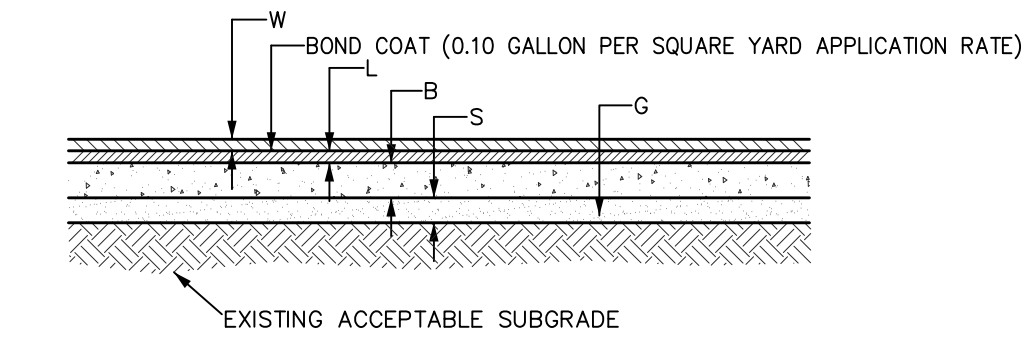
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ALDI, Inc.	PROJECT No.: 173289
2625 N. STOCKBRIDGE RD.	DWG NAME: 3289 LA
WEBBERVILLE, MI 48892	ISSUED: APRIL 6, 2018
(517) 521-3907	

LA2



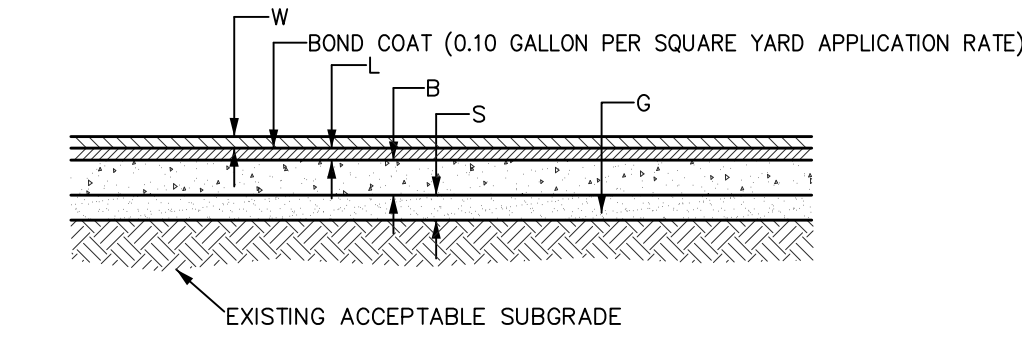






STANDARD DUTY BITUMINOUS PAVEMENT CROSS SECTION

KEY	DESCRIPTION	MATERIAL SPECIFICATION	MINIMUM COMPACTED THICKNESS
W	WEARING COURSE	MDOT 4E3 OR 1100T	1.5"
L	LEVELING COURSE	MDOT 13A	1.5"
B	AGGREGATE BASE	MDOT 21AA (SEE NOTE 4)	8"
S	GRANULAR SUBBASE	MDOT CLASS II (SEE NOTE 4)	12"
G	GEOGRID	N/A	N/A

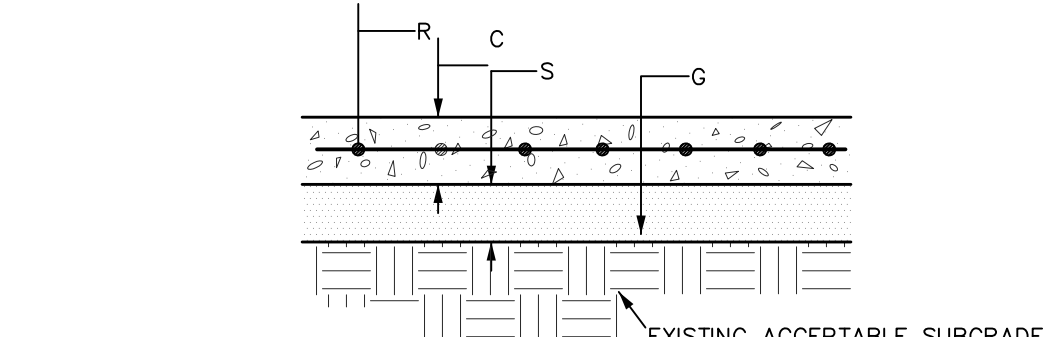


HEAVY DUTY BITUMINOUS PAVEMENT CROSS SECTION

KEY	DESCRIPTION	MATERIAL SPECIFICATION	MINIMUM COMPACTED THICKNESS
W	WEARING COURSE	MDOT 4E3 OR 1100T	1.5"
L	LEVELING COURSE	MDOT 13A	2.5"
B	AGGREGATE BASE	MDOT 21AA (SEE NOT 4)	8"
S	GRANULAR SUBBASE	MDOT CL.II (SEE NOTE 4)	12"
G	GEOGRID	N/A	N/A

BITUMINOUS PAVEMENT CROSS SECTION NOTES:

- The construction specifications of the Local Municipality are a part of this work. Refer to the General Notes and the Bituminous Pavement Cross Section Details on the Project Plans for additional requirements. Construction of the bituminous pavement cross section is subject to inspection by the ALDI Representative and/or Project Engineer. The Contractor shall be responsible for contacting the ALDI Representative at each stage of construction of the bituminous pavement cross section to schedule the necessary inspections.
- The Geotechnical Evaluation Report for the project site is a part of this work. The General Contractor, Earthwork Subcontractor, and Bituminous Pavement Subcontractor shall obtain, review, and become familiar with the Geotechnical Evaluation Report.
- The bituminous pavement cross section specifications are based on typical weather conditions during the June through September Construction Season. If the bituminous parking area and/or bituminous driveways are to be constructed during any other time of the year and/or if weather conditions are unseasonably wet, then modifications to the bituminous pavement cross section specifications may be necessary. If either of these conditions exists, then contact the Material Testing Engineer and/or the Project Engineer for additional requirements.
- The existing granular subbase and aggregate base materials are to be left in place and salvaged for reuse to the greatest extent feasible. The existing aggregate base material shall be finish graded and compacted to a minimum of 95% of the maximum unit weight, Modified Proctor, prior to placement of the bituminous leveling course. In areas of new pavement and in locations where the existing granular subbase and/or aggregate base materials cannot be salvaged, provide the appropriate subbase/base materials in accordance with the Bituminous Pavement Cross Section Details and Specifications provided on the Project Plans. In locations where proposed changes in surface grades require the placement of additional aggregate base material, provide the appropriate aggregate base material in accordance with the Bituminous Pavement Cross Section Details and Specifications provided on the Project Plans.
- Any existing subgrade soils that are exposed during construction procedures shall be prepared in accordance with the Geotechnical Evaluation Report prior to placement of the granular subbase material, including fine grading and compaction to a minimum of 95% of the maximum unit weight, Modified Proctor. Unsuitable soils found within the 1 on 1 influence zone of the proposed pavement areas, such as muck, peat, topsoil, marl, silt or other unstable materials shall be excavated and replaced with structural fill. Structural fill shall be MDOT Class II granular material placed in accordance with the General Notes on the Project Plans and the Geotechnical Evaluation Report. The bituminous pavement subgrade shall be proof rolled in accordance with the Geotechnical Evaluation Report. The Material Testing Engineer and/or the Project Engineer shall observe the subgrade proof roll. Areas of subgrade that do not pass a proof roll inspection shall be undercut in accordance with the Subgrade Undercut Notes and Details on the Project Plans. Alternative means of subgrade stabilization may be considered when recommended by the Material Testing Engineer. Alternative methods shall not be performed without receipt of the Owner's Authorization.
- The bituminous pavement granular subbase material shall be MDOT Class II sand. No granular subbase material substitutions shall be permitted without prior written approval of the Project Engineer and receipt of the Owner's Authorization. The granular subbase shall be compacted to a minimum of 95% of the maximum unit weight, Modified Proctor.
- The bituminous pavement aggregate base material shall be MDOT 21AA crushed angular limestone or crushed angular natural stone aggregate material. Crushed concrete shall NOT be utilized for the standard or heavy duty bituminous pavement aggregate base. No aggregate base material substitutions shall be permitted without prior written approval of the Project Engineer and receipt of the Owner's Authorization. The aggregate base shall be compacted to a minimum of 95% of the maximum unit weight, Modified Proctor.
- The bituminous pavement leveling course material shall be MDOT 13A bituminous material placed in 1 lift. The bituminous pavement wearing course material shall be MDOT 4E3 or MDOT 1100T bituminous material placed in 1 lift. The bituminous pavement leveling and wearing courses shall NOT be combined into a single course. No bituminous material substitutions shall be permitted without prior written approval of the Project Engineer and receipt of the Owner's Authorization. Compaction of the leveling course shall be achieved prior to placement of the wearing course. Any sediment, soil, debris and other foreign materials that accumulate on the leveling course shall be removed prior to placement of the wearing course. The bond coat shall be sprayed on the leveling course within 24 hours of placement of the wearing course. The bituminous pavement material shall be compacted to a minimum of 95% of the 50-blow Marshall Density.
- Placement of the bituminous pavement leveling course and bituminous pavement wearing course shall be performed in two separate mobilizations. Placement of the bituminous pavement wearing course shall be postponed as directed by the General Contractor and/or the Owner until the majority of the construction activities are complete. Repair of the bituminous leveling course may be necessary due to construction traffic and/or any delay in placement of the bituminous wearing course. The bituminous leveling course shall be repaired as directed by Material Testing Engineer and/or Owner prior to placement of the bituminous wearing course.
- Bituminous mix designs shall be developed in accordance with the MDOT HMA Production Manual. The Contractor shall submit the bituminous pavement mix designs to the Material Testing Engineer for review and approval a minimum of 3 business days prior to use. Bituminous pavement work shall not commence without receipt of the Material Testing Engineer's approval of the bituminous mix designs. The bituminous pavement mix design shall be a virgin mix. RAP mixtures shall not be utilized without prior written approval of the Material Testing Engineer and receipt of the Owner's Authorization. RAP mixtures, if authorized, shall be designed and produced in accordance with MDOT Tier I or Tier II RAP Mixture Specifications. In no instance shall MDOT Tier III or non-MDOT RAP mixtures be permitted or utilized.

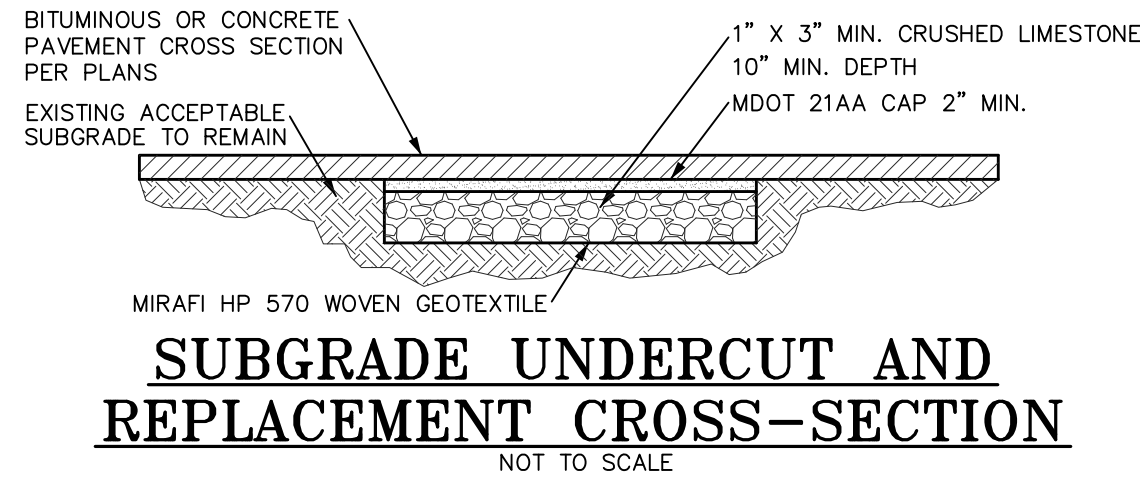


HEAVY DUTY CONCRETE PAVEMENT CROSS-SECTION

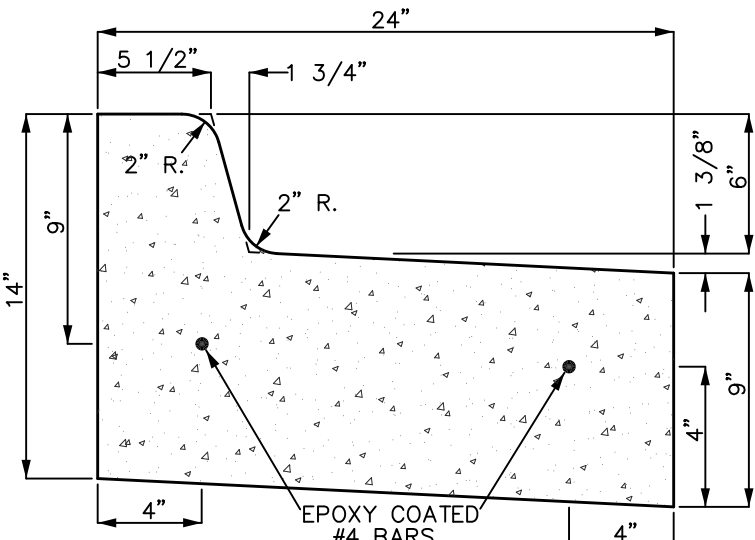
KEY	DESCRIPTION	MATERIAL SPEC.	MIN. THICKNESS
R	REINFORCEMENT	SEE NOTE 8	SEE NOTE 8
C	CONCRETE	MDOT P1	8"
S	COMPACTED SUBBASE	MDOT 6AA	8"
G	GEOGRID	N/A	N/A

CONCRETE PAVEMENT CROSS SECTION NOTES:

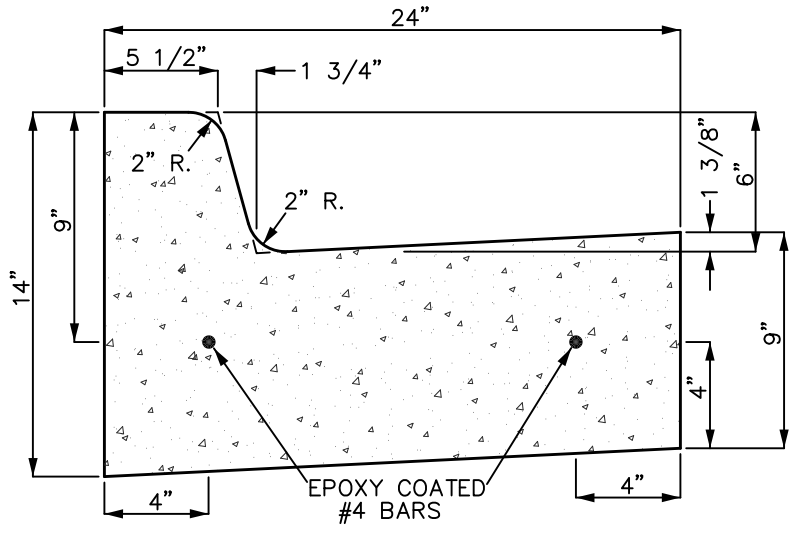
- The construction specifications of the Local Municipality are a part of this work. Refer to the General Notes and the Heavy Duty Concrete Pavement Cross Section Detail on the Project Plans for additional requirements. Construction of the concrete pavement cross section is subject to inspection by the ALDI Representative and/or Project Engineer. The Contractor shall be responsible for contacting the ALDI Representative at each stage of construction of the concrete pavement cross section to schedule the necessary inspections.
- The Geotechnical Evaluation Report for the project site, is a part of this work. The General Contractor, Earthwork Subcontractor and Concrete Pavement Subcontractor shall obtain, review and become familiar with the Geotechnical Evaluation Report.
- The concrete pavement cross section specifications are based on typical weather conditions during the June through September Construction Season. If the concrete pavement areas are to be constructed during any other time of the year and/or if weather conditions are unseasonably wet, then modifications to the concrete pavement cross section specifications may be necessary. If either of these conditions exists, then contact the Material Testing Engineer and/or the Project Engineer for additional requirements.
- The existing subgrade soils shall be prepared in accordance with the Geotechnical Evaluation Report. Unsuitable soils found within the 1 on 1 influence zone of the proposed pavement areas, such as muck, peat, topsoil, marl, silt or other unstable materials shall be excavated and replaced with structural fill. Structural fill shall be MDOT Class II granular material placed in accordance with the General Notes on the Project Plans and the Geotechnical Evaluation Report.
- The concrete pavement subgrade shall be prepared and proof rolled in accordance with the Geotechnical Evaluation Report. The Material Testing Engineer and/or the Project Engineer shall observe the subgrade proof roll. Areas of subgrade that do not pass a proof roll inspection shall be undercut in accordance with the Subgrade Undercut Notes and Details on the Project Plans. Alternative means of subgrade stabilization may be considered when recommended by the Material Testing Engineer. Alternative methods shall not be performed without receipt of the Owner's Authorization.
- The concrete pavement compacted subbase material shall be MDOT Class II granular material. No subbase material substitutions shall be permitted without prior written approval of the Project Engineer and receipt of the Owner's Authorization. The subbase shall be compacted to a minimum of 95% of the maximum unit weight, Modified Proctor.
- Concrete material shall be MDOT P1 (I-A) 6.0 sack concrete pavement mixture with a minimum 28-day design compressive strength of 4,000 PSI and 6.5% (+/-1.5%) entrained air. The Contractor shall submit concrete mix design and aggregate mechanical analysis report to the Material Testing Engineer for review and approval prior to use.
- Heavy Duty Concrete Pavement placed within the Truck Well shall be Reinforced with epoxy coated deformed #5 bars at 12" on center each way placed at mid-depth of the concrete, unless noted otherwise on the Project Structural Plans.
- Install transverse contraction joints and longitudinal contraction joints at the locations specified on the Project Structural Plans. Joints shall be 2" deep, unless noted otherwise on the Project Structural Plans. Tool joints in fresh concrete or saw cut within 4 hours after placement with soft cut saws.
- Provide 1" asphalt fiber control joint between concrete pavement and all other concrete structures such as concrete building foundations, concrete curb and concrete sidewalks.
- The Concrete Pavement shall not be exposed to vehicular traffic until the concrete has reached at least 75% of the design flexural strength.



SUBGRADE UNDERCUT AND REPLACEMENT CROSS-SECTION



MDOT TYPE F4 CURB REVERSE PITCH



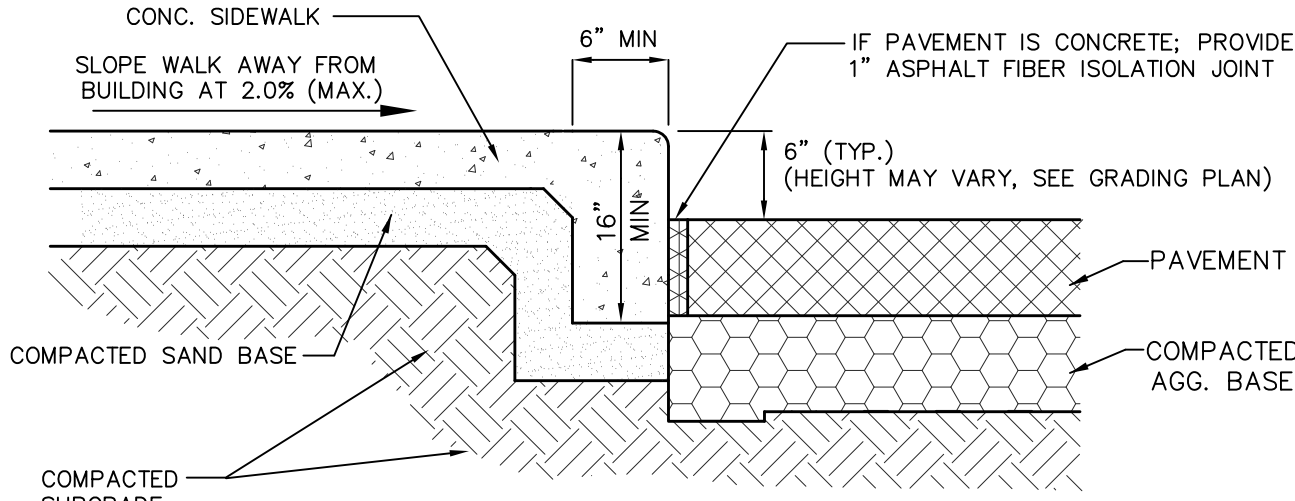
MDOT TYPE F4 CURB

CONCRETE CURB NOTES:

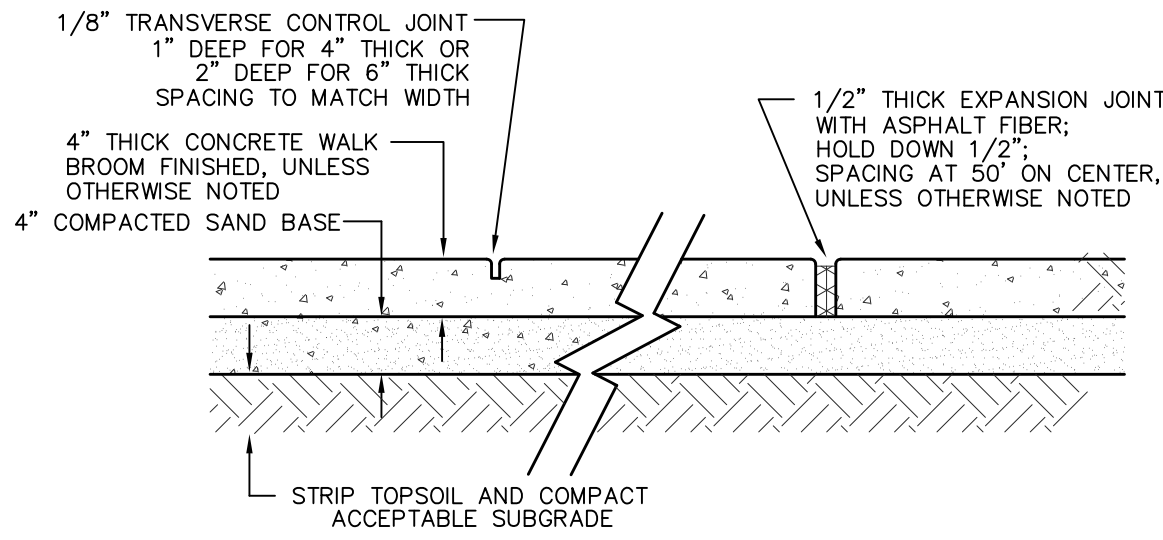
- Refer to the project plans for the proposed locations of the specific curb types.
- The construction specifications of the appropriate Local Municipality are a part of this work. Refer to the General Notes and Curb Cross Section Details on the project plans for additional requirements.
- Extend the base and/or subbase material of the appropriate adjacent pavement cross-section horizontally to 1 foot behind the back of curb. Concrete curb shall be constructed on no less than 6" of combined depth of compacted base/subbase material.
- Concrete material shall be MDOT P1 (I-A) 6.0 sack concrete pavement mixture with a minimum 28 day design compressive strength of 4,000 PSI and 6.5% (+/-1.5%) entrained air. Contractor shall submit concrete mix design and aggregate mechanical analysis report to the Local Municipality and Engineer for review and approval prior to use.
- Install transverse contraction control joints in concrete curb with 1" minimum depth at 10' on center. Tool joints in fresh concrete or saw cut within 8 hours.
- Install transverse expansion control joints in concrete curb as follows: 400' maximum on center, at spring points of intersecting streets and within 10' on each side of catch basins. Transverse expansion control joints shall be 1" thick asphalt fiber joint filler matching entire curb cross section.
- Provide 1" asphalt fiber control joint between back of curb and all other concrete structures, such as concrete sidewalks and concrete driveways.
- Curb Contractor shall provide final adjustment of catch basin castings in curb line. Castings shall be tucked pointed to structure water tight with concrete or mortar inside and outside of casting.
- Install curb cuts for all existing and proposed sidewalks and pedestrian ramps in accordance with the American Disabilities Act and the Barrier Free Design requirements of the appropriate Local, County and/or State Agency. Refer to MDOT Standard Plan R-28, latest revision. Install curb cuts for all existing and proposed vehicular ramps and drives as noted on the project plans.

PAVEMENT SUBGRADE UNDERCUT NOTES:

- Areas of pavement subgrade that do not pass a proof roll inspection shall be undercut when directed by the Material Testing Engineer and/or Project Engineer. All undercut work shall be witnessed and field measured by the Material Testing Engineer and/or Project Engineer. Copies of the field notes depicting the field measurements of the undercut areas shall be provided to the General Contractor and/or Earthwork Subcontractor and ALDI Inc.
- Undercut areas shall be excavated to a depth of 12" below the proposed subgrade elevation using an Excavator or Backhoe with a Smooth Edged Ditching Bucket so as not to scarify the underlying soils. Undercut areas shall remain free of all construction traffic and equipment to avoid rutting and/or tracking of the underlying soils.
- Mirafi HP 570 Woven Geotextile Fabric (or approved equal) shall be placed over all undercut areas per the Manufacturer's specifications. Overlap all seams a minimum of 12" unless specified otherwise by the Manufacturer.
- Backfill the undercut areas with 1" x 3" minimum size crushed angular limestone up to the proposed subgrade elevation. Crushed concrete material shall NOT be substituted for crushed limestone material. The backfill material shall be spread with a Wide Track Dozer to minimize loading on the underlying soils. Static roll the backfill material with a large smooth drum roller.
- Construct the appropriate Bituminous or Concrete Pavement Cross Section over the undercut areas per the Project Plans.
- The General Contractor and/or Earthwork Subcontractor shall provide ALDI Inc with unit pricing to perform subgrade undercut work per square yard (SY) of undercut area. Undercut Unit Pricing SHALL include excavation, loading, hauling and offsite disposal of excess spoils, placement of geotextile fabric and backfill including all labor, equipment and materials necessary to complete pavement subgrade undercut work as specified on the Project Plans.



SIDEWALK WITH INTERGAL CURB & ISOLATION JOINT DETAIL



SIDEWALK CROSS SECTION

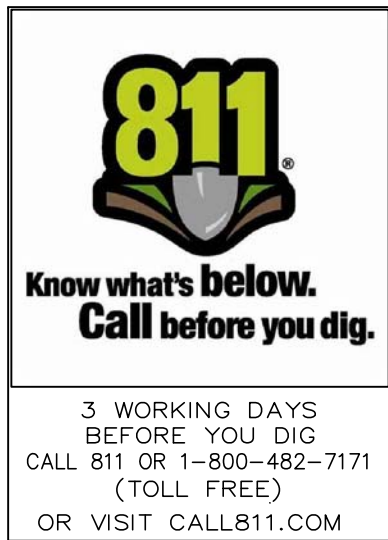
SIDEWALK CROSS SECTION NOTES:

- The construction specifications of the Local Municipality are a part of this work. Refer to the General Notes and the Sidewalk Cross Section Details on the Project Plans for additional requirements.
- Sidewalk widths may vary. See the Project Plans for the proposed sidewalk width at each location. Increase sidewalks to 6" minimum thickness at driveways and other areas exposed to vehicular traffic.
- The existing subgrade soils shall be prepared prior to placement of the granular subbase. Unsuitable soils found within the 1 on 1 influence zone of the proposed sidewalk areas, such as muck, peat, topsoil, marl, silt or other unstable materials shall be excavated and replaced with structural fill. Structural fill shall be MDOT Class II granular material placed in accordance with the General Notes on the Project Plans.
- The sidewalk compacted subbase material shall be MDOT Class II sand. No subbase material substitutions shall be permitted without prior written approval of the Project Engineer and receipt of the Owner's Authorization. The subbase shall be compacted to a minimum of 95% of the maximum unit weight, modified proctor.
- Concrete material shall be MDOT P1 (I-A) 6.0 sack concrete pavement mixture with a minimum 28 day design compressive strength of 4,000 PSI and 6.5% (+/-1.5%) entrained air. The Contractor shall submit the concrete mix design and aggregate mechanical analysis report to the Material Testing Engineer and/or Project Engineer for review and approval prior to use.
- Install transverse contraction control joints in accordance with the Sidewalk Cross Section Detail. Space contraction control joints to match sidewalk width, but no greater than 10' on center. Tool joints in fresh concrete or saw cut within 8 hours.
- Install transverse expansion control joints in accordance with the Sidewalk Cross Section Detail. Space expansion control joints at 50 feet on center maximum. Transverse expansion control joints shall be 1/2" thick asphalt fiber joint filler matching entire sidewalk cross section.
- Provide 1" asphalt fiber control joint between concrete sidewalks and all other concrete structures, such as concrete building foundations, concrete curb and concrete driveways.
- Construct all Barrier Free Sidewalk Ramps in accordance with the American Disabilities Act and the Barrier Free Design Requirements of the appropriate Local, County or State Agency with jurisdiction over the project. Refer to MDOT Standard Plan R-28, latest revision.
- The Concrete Pavement shall not be exposed to vehicular traffic until the concrete has reached at least 75% of the design flexural strength.

GENERAL NOTES:

- Contractor shall perform the work in accordance with the requirements of the appropriate Local, County and State Agencies and all other Government and Regulatory Agencies with jurisdiction over the project. Contractor shall notify the appropriate Agencies in advance of each stage of work in accordance with each Agency's requirements.
- Contractor shall comply with all permit, insurance, licensing and inspection requirements associated with the work. Prior to construction, Contractor and Owner/Developer shall determine who is responsible for obtaining each required permit. Contractor shall verify that the each required permit has been obtained prior to commencement of the stage of work associated with the required permit(s).
- Contractor shall furnish liability insurance and property damage insurance to save harmless the Owner, Developer, Architect, Engineer, Surveyor and Government Agencies for any accident occurring during the construction period. Refer to the appropriate Local, County and State Agencies for additional requirements. Copies of insurance certifications shall be made available to the Owner/Developer.
- Contractor shall conduct and perform work in a safe and competent manner. Contractor shall perform all necessary measures to provide for traffic and pedestrian safety from the start of work and through substantial completion. Contractor shall determine procedures and provide safety equipment such as traffic controls, warning devices, temporary pavement markings and signs as needed. Contractor shall comply with the safety standards of the State Department of Labor, the occupational health standards of the State Department of Health and safety regulations of the appropriate Local, County, State and Federal Agencies. Refer to the safety specifications of the appropriate Regulatory Agencies. The Contractor shall designate a qualified employee with complete job site authority over the work and safety precautions; said designated employee shall be on site at all times during the work.
- Contractor shall coordinate scheduling of all work in the proper sequence, including work by Subcontractors. Additional costs due to improper planning by Contractor or work done out of sequence as determined by standard acceptable construction practices, shall be Contractor's responsibility.
- Contractor shall contact the 811 Underground Public Utility Locating System or other appropriate local underground utility locating Agency, a minimum of three (3) working days prior to construction. Existing utility information on the project plans may be from information disclosed to this firm by the Utility Companies, Local, County or State Agencies, and/or various other sources. No guarantee is given as to the completeness or accuracy thereof. Prior to construction, locations and depths of all existing utilities (in possible conflict with the proposed improvements) shall be verified in the field.
- Contractor shall coordinate scheduling a Pre-Construction Meeting with Engineer prior to commencement of work.
- The Local Municipality, County and/or State in which the project is located may require an Engineer's Certification of construction of the proposed site improvements. Contractor shall verify the certification requirements with Engineer prior to commencement of work. Contractor shall coordinate construction staking, testing, documentation submittal and observation with the appropriate Agency, Surveyor and/or Engineer as required for Engineer's Certification and Government Agency Acceptance. All materials used and work done shall meet or exceed the requirements of certification and acceptance, the contract documents and the material specifications noted on the project plans. Any materials used or work done that does not meet said requirements, contract documents and/or specifications shall be replaced and/or redone at Contractor's expense. The Owner/Developer may wait for test results, certifications and/or Agency reviews prior to accepting work.
- Engineer may provide subsurface soil evaluation results, if available, to Contractor upon request. Subsurface soil evaluation results, soils maps and/or any other documentation does NOT guarantee existing soil conditions or that sufficient, acceptable on-site granular material is available for use as structural fill, pipe bedding, pipe backfill, road subbase or use as any other granular material specified on the project plans. On-site granular material that meets or exceeds the material specifications noted on the project plans may be used as structural fill, pipe bedding, pipe backfill and/or road subbase material. On-site granular material shall be stockpiled and tested as acceptable to the appropriate Agency and/or Engineer prior to use.

- During the performance of their work, Contractor shall be solely responsible for determining soil conditions and appropriate construction methods based on the actual field conditions. Contractor shall furnish, install and maintain sheeting, shoring, bracing and/or other tools and equipment and/or construction techniques as needed for the safety and protection of the workers, pedestrians and vehicular traffic and for protection of adjacent structures and site improvements.
- Contractor shall install temporary and permanent soil erosion and sedimentation control devices at the appropriate stages of construction in accordance with the appropriate regulatory Agencies. Refer to Soil Erosion and Sedimentation Control Plans and Notes on the project plans.
- Structural fill shall be placed as specified on the project plans and within the 1 on 1 influence zone of all structures, paved areas and other areas subject to vehicular traffic. Structural fill shall be placed using the controlled density method (12" maximum lifts, compacted to 95% maximum unit weight, modified proctor). Fill material shall meet or exceed the specifications noted on the project plans or as directed by Engineer when not specified on the project plans.
- All existing monuments, property corners, ground control and benchmarks shall be protected and preserved; and if disturbed by Contractor, shall be restored at Contractor's expense. Contractor shall notify Surveyor of any conflicts between existing monuments, property corners, ground control and/or benchmarks and the proposed site improvements.
- Contractor shall notify Owner/Developer and Engineer immediately upon encountering any field conditions, which are inconsistent with the project plans and/or specifications.
- When noted on the project plans for demolition and/or removal, Contractor shall remove existing structures, building and debris and recycle and/or dispose of in accordance with Local, County, State and Federal regulations.
- Contractor shall remove excess construction materials and debris from site and perform restoration in accordance with the project plans and specifications. Disposing of excess materials and debris shall be performed in accordance with Local, County, State and Federal regulations.
- Construction access to the site shall be located as acceptable to the Owner/Developer and to the appropriate Local, County and/or State Agency with jurisdiction over the road(s) providing access to the site. Construction access shall be maintained and cleaned in accordance with the appropriate Local, County and/or State Agencies and as directed by Owner/Developer and/or Engineer.
- Contractor shall take necessary precautions to protect all site improvements from heavy equipment and construction procedures. Damage resulting from Contractor actions shall be repaired at Contractor's expense.



DESIGN: CAG	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
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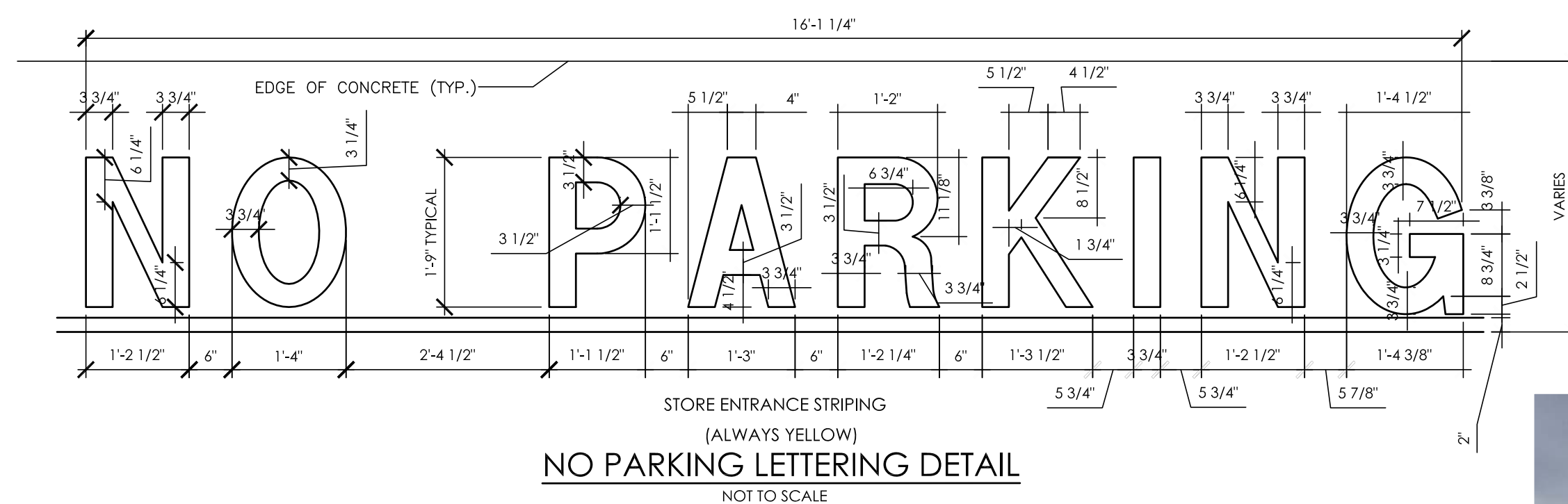
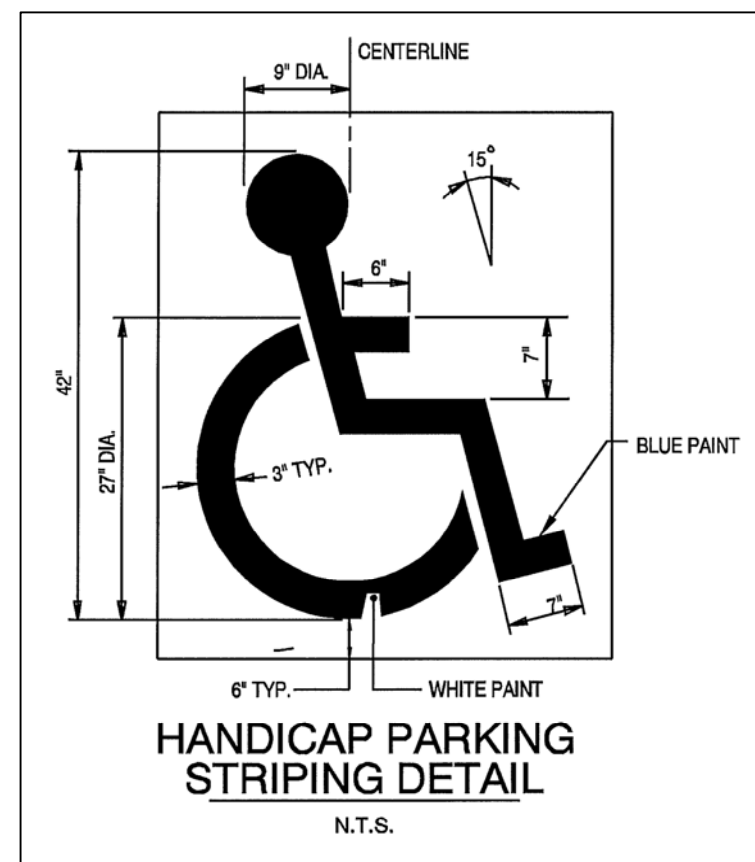
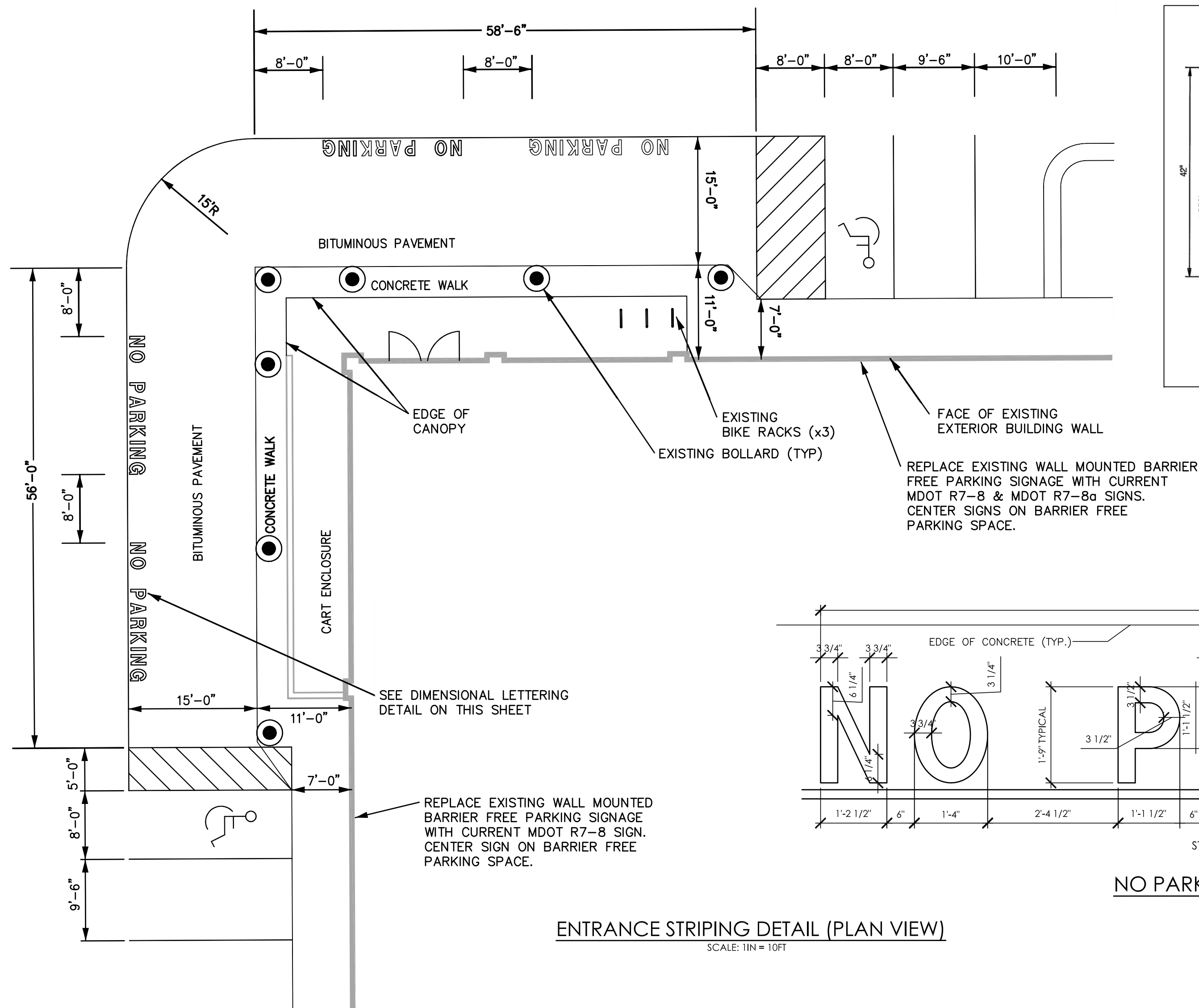
ALDI FOOD MARKET #53  
MT. PLEASANT, MI.

SITE PAVEMENT NOTES & DETAILS




CLIENT:	SCALE: AS NOTED
ALDI Inc. 2625 N. STOCKBRIDGE ROAD WEBBERVILLE, MICHIGAN 48892 (517) 521-3907	PROJECT No.: 173289 DWG NAME: 3289 DT ISSUED: APRIL 6, 2018

DT1





## SIGN SCHEDULE

SIGN	KEY	SIZE (W x H)	TYPE OR MOUNT	MOUNTING HEIGHT	QUANTITY
	R7-8	12' x 18'	POST MOUNTED	7'-6"	0
			BUILDING MOUNTED	7'-6"	2
	R7-8a	12' x 6'	BUILDING MOUNTED	7'-0"	1
	R1-1	30' x 30'	POST MOUNTED	7'-0"	0

**SIGNAGE AND PAVEMENT MARKING NOTES:**

1. Pavement markings shall be accordance with the type, color, size and locations shown on the plans. If the information on the plans is not complete and the authority having jurisdiction does not have specific requirements, then use the following: Paint shall be supplied in accordance with AASHTO: M 248 latest addition. Colors shall be as follows: (YELLOW- parking stalls, loading zones, parking islands, no parking zones and fire lanes) (WHITE - stop bars, pedestrian crossings, lane demarcations, directional arrows and lettering) (BLUE - handicap parking stalls and symbols). Stripe widths shall be as follows: (4" - parking spaces, driveway lanes, barrier free loading zones and no parking zones) (12" - crosswalks) (24" - stop bars).

2. The pavement shall be clean and free of dirt, dust, moisture, oils and other foreign materials at time of marking application. Any existing pavement markings shall be removed or blacked out as acceptable to ALDI Inc., unless paints are compatible and overlay identically. The surface of the pavement prior to application shall be a minimum of 45 degrees F and rising unless the Manufacturer's recommendations are greater.

3. The signage shall be in accordance with the type, color, size and locations shown on the plans in accordance with AASHTO M268. The signage shall be provided in accordance with the Local Municipality and the Michigan Manual of Uniform Traffic Devices latest edition.

4. Posts, brackets and frames shall be steel per ASTM A-36, A-242, A-441, A-572, A588, Grade 50 and hot dip galvanized in accordance with ASTM A123. All cutting, drilling and/or other pole modifications shall be painted with galvanizing paint. All mounting hardware shall be stainless steel.

5. Sign post footings shall be a minimum of 3'-6" deep and 8" in diameter unless poor soils or frost conditions require greater depth and/or diameter. Sign posts shall be kept 18" inches off the bottom of footing excavation and centered as 3000-psi concrete is placed under and around the sign post. The overall sign and post system should be able to withstand 33 pounds per square foot. All signs located in paved areas or with less than 3 feet of clearance between the centerline of sign post and the back of curb and/or edge of pavement shall be installed in a pipe bollard. Pipe bollards shall be 6" diameter schedule 40 steel pipe. Pipe bollards shall be filled with concrete that is rounded at the top of the bollard. Bollards shall be painted traffic yellow. Increase the sign post footing diameter to 14" minimum for pipe bollards and embed the bollard into the concrete footing a minimum of 3 feet below proposed finish grade.

6. Signs shall not be mounted on posts until after concrete has cured for a minimum of seven days or  $\frac{3}{4}$  strength is achieved.

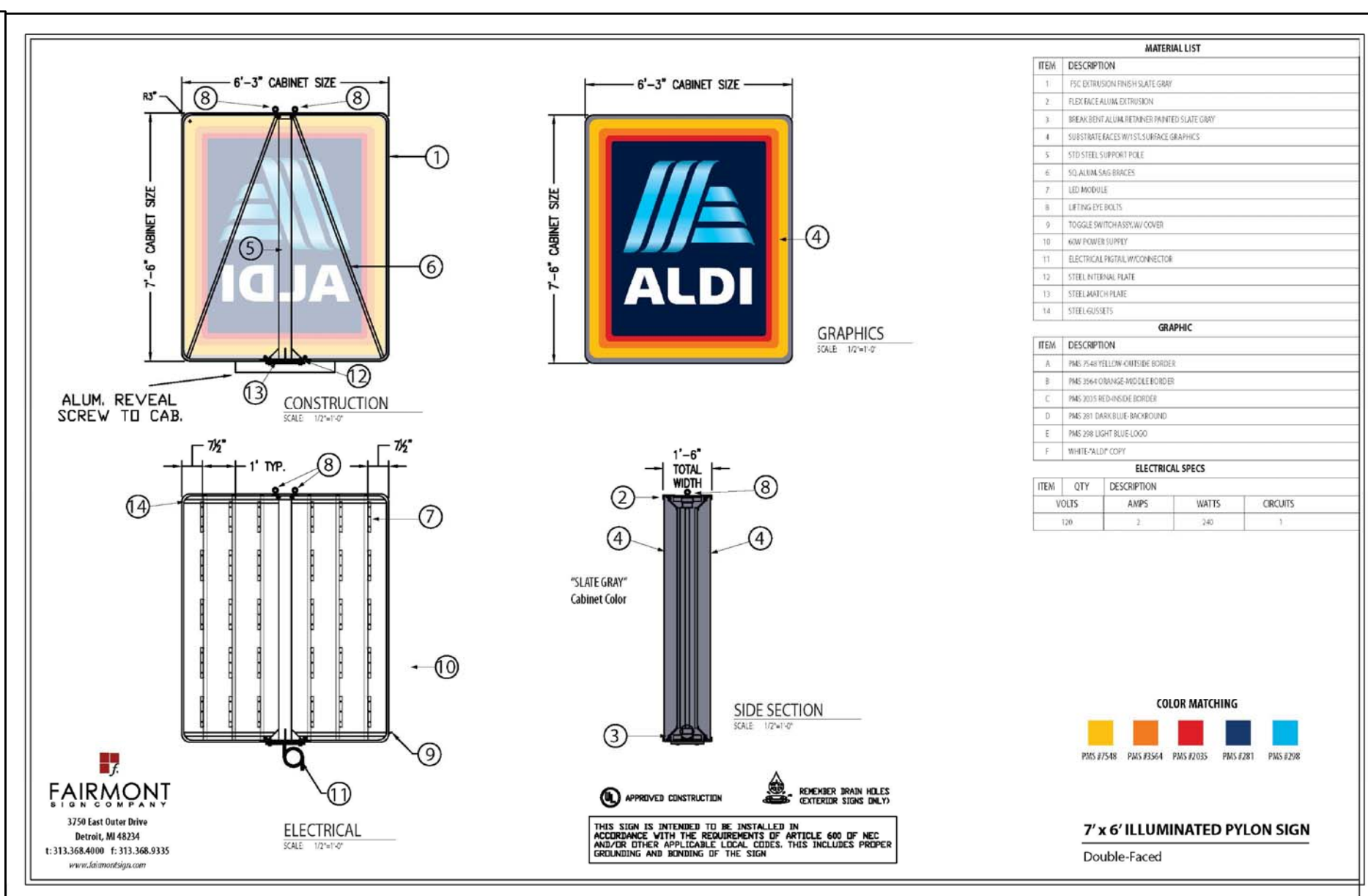
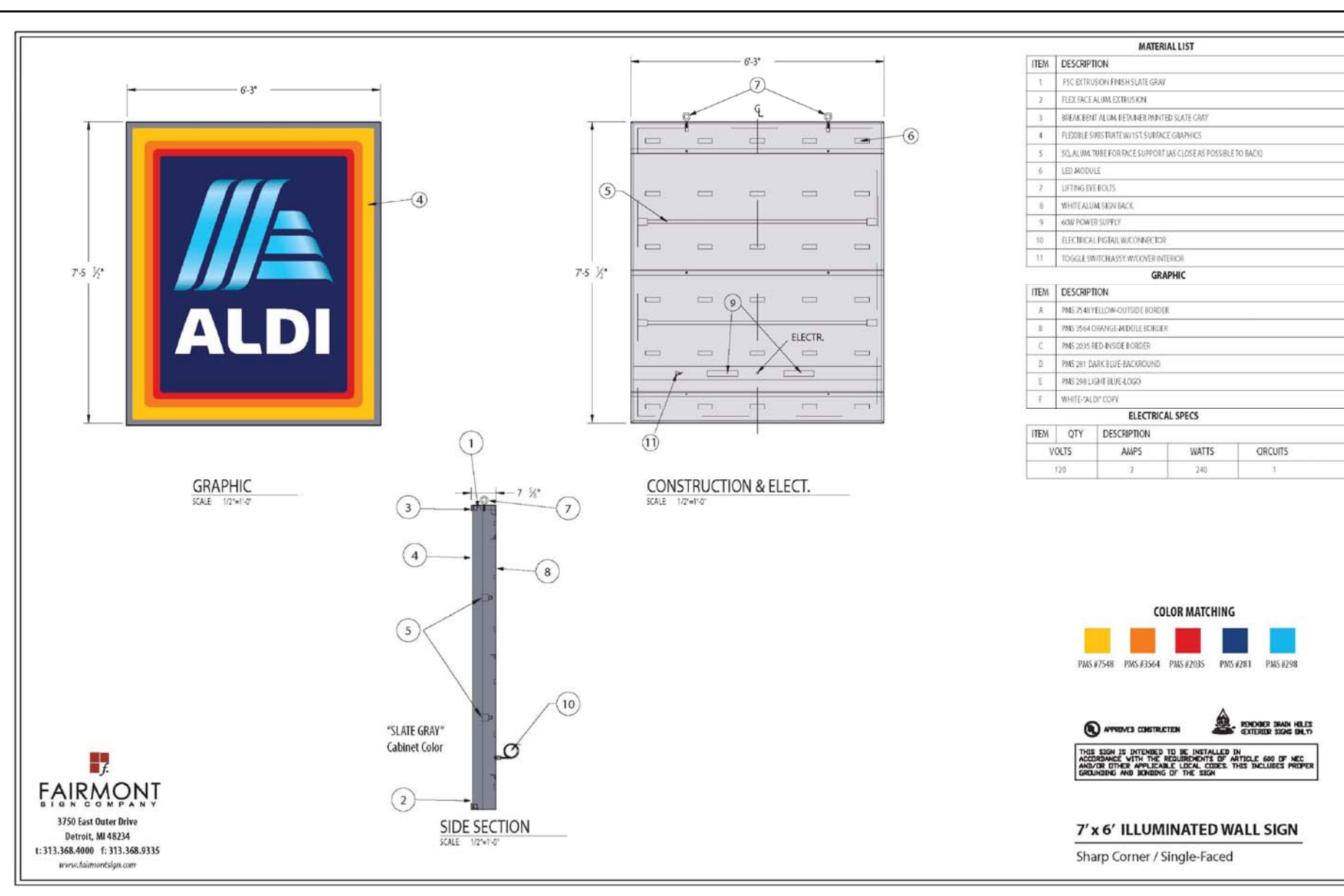
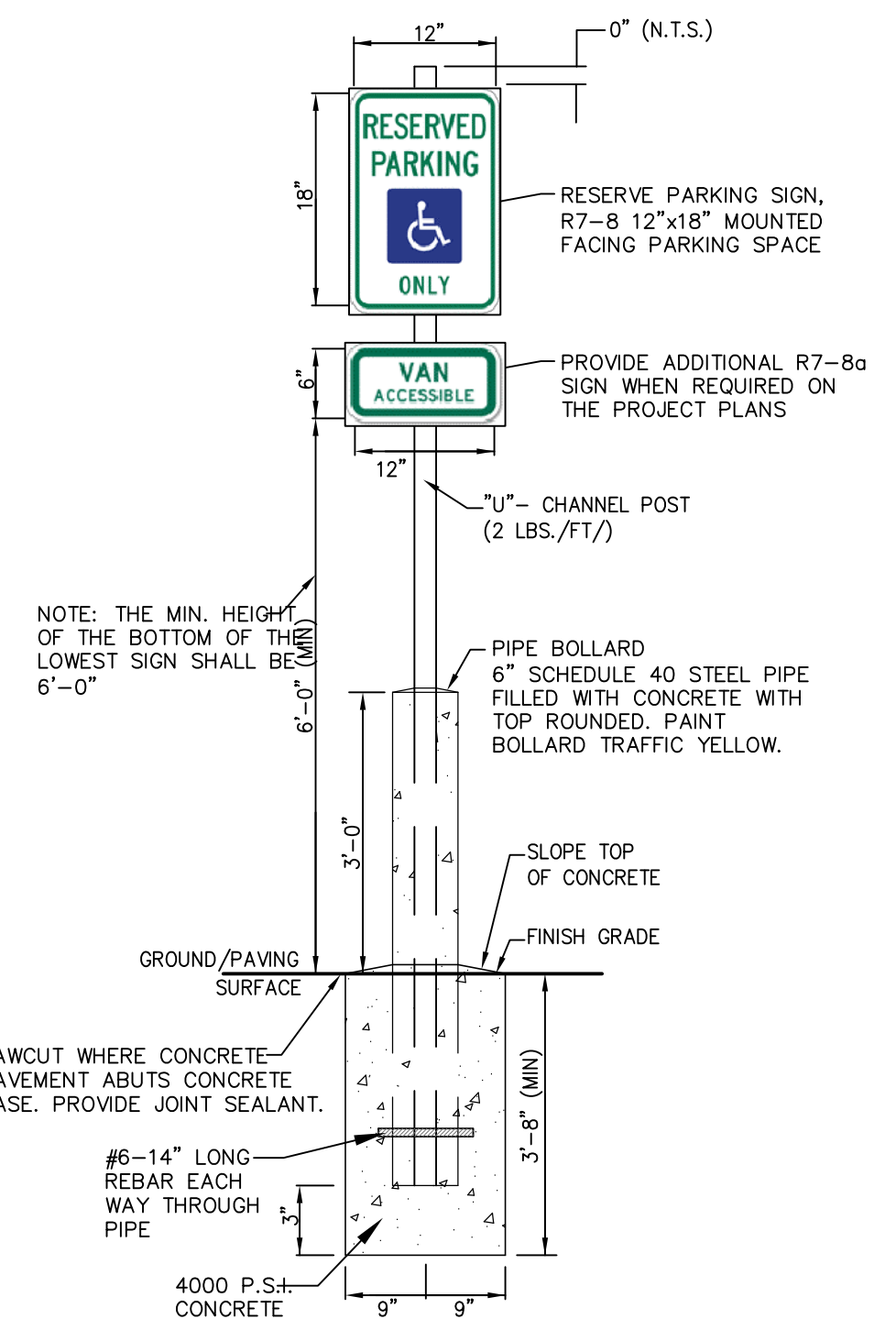
7. All barrier free striping and signage shall meet the Americans with Disabilities Act (ADA) requirements.

8. All Fire Lane signs shall have a Red Border and Red Letters on White Background. All Fire Lane signs shall be Reflective. Fire lane striping and signage shall meet the requirements of the Local Building Inspector and Fire Department.

9. "Mounting Height" shall be the minimum height of the bottom of the sign above finish grade. When signs are located downhill from the roadway, driveway and/or parking area, then the "Mounting Height" shall be the height of the bottom of the sign above the top of pavement finish grade at the nearest edge of pavement adjacent to the sign.

10. All Traffic Control and Fire Lane signs shall be installed at 3 feet behind the back of curb (and/or edge of pavement) to the centerline of the sign post unless noted otherwise on the project plans.

11. The Contractor(s) and/or Subcontractor(s) responsible for installation of the sign posts shall contact the 811 Public Underground Utility Locating System a minimum of three (3) working days prior to installation of the signposts. Install the sign posts in the locations specified on the project plans. When underground utilities conflict with the proposed sign post locations, field adjust the sign locations the minimum amount necessary to safely clear the underground utilities. Maintain a minimum of 2 feet of clearance between the edge of sign and the back of curb and/or edge of sidewalk.



### EXISTING PYLON SIGN DETAIL

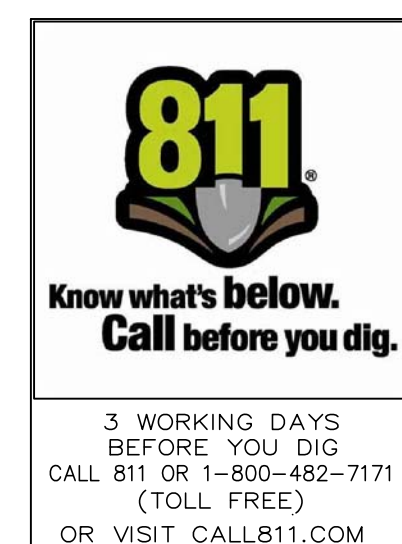
## BARRIER FREE PARKING

**PYLON SIGN NOTES:**

1. The existing pylon sign cabinets shall be removed in accordance with the project plans. The existing pylon sign posts and foundation shall be salvaged for reuse. The existing pylon sign electric supply shall be salvaged for reuse unless noted otherwise on the Site Electrical Plan within the Building Plans. See the Site Electrical Plan for additional requirements and/or specifications.

2. The existing pylon sign posts shall be refinished. Remove all existing rust, scale, chipped and/or peeling finish. Prepare the surface, prime and paint the pylon sign post in accordance with the Project Manual painting specifications and requirements for exterior finishes. Paint color shall match the replacement sign cabinet.

3. The proposed pylon sign cabinet shall be mounted onto the existing pylon sign post in accordance with the pylon sign cabinet manufacturer's recommendations. Drilling of any new mounting holes and all other necessary modifications to the existing posts shall be performed prior to refinishing of the existing posts.



	REVISION #	DATE	REVISION-DESCRIPTION	REVISION #	DATE	REVISION-DESCRIPTION
DESIGN: CAG						
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ALDI FOOD MARKET #53  
MT. PLEASANT

# SIGNAGE & PAVEMENT MARKING NOTES & DETAILS

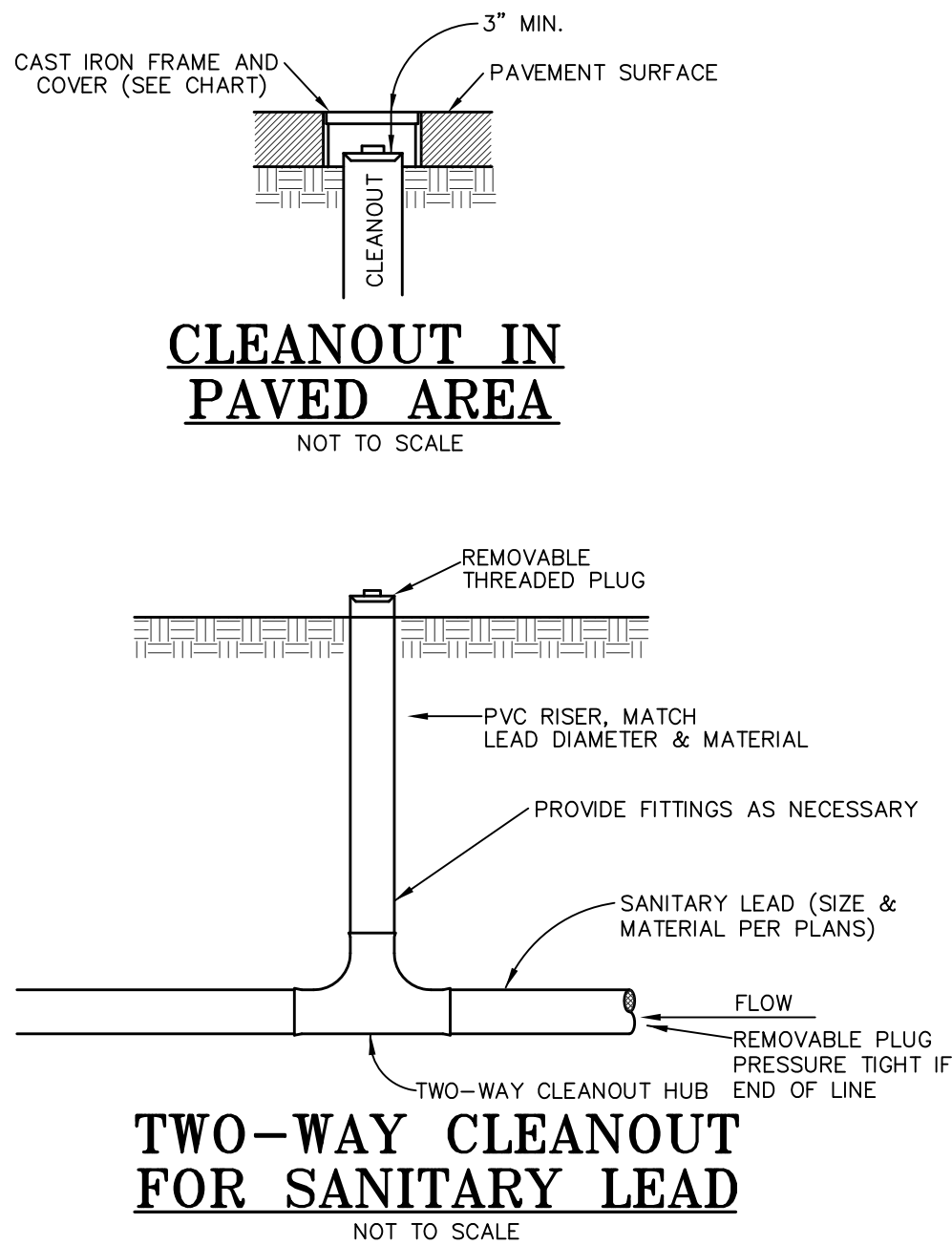
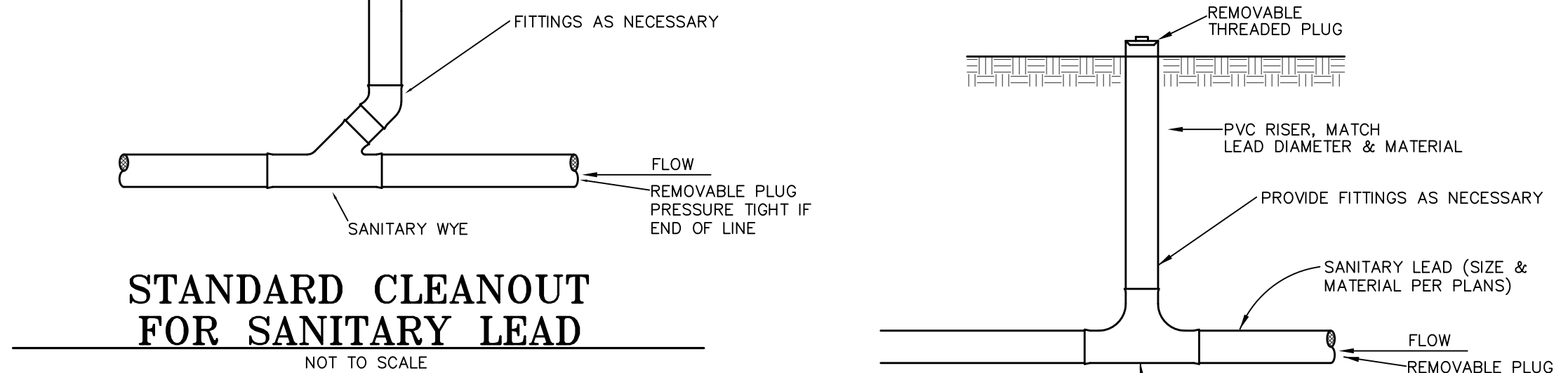
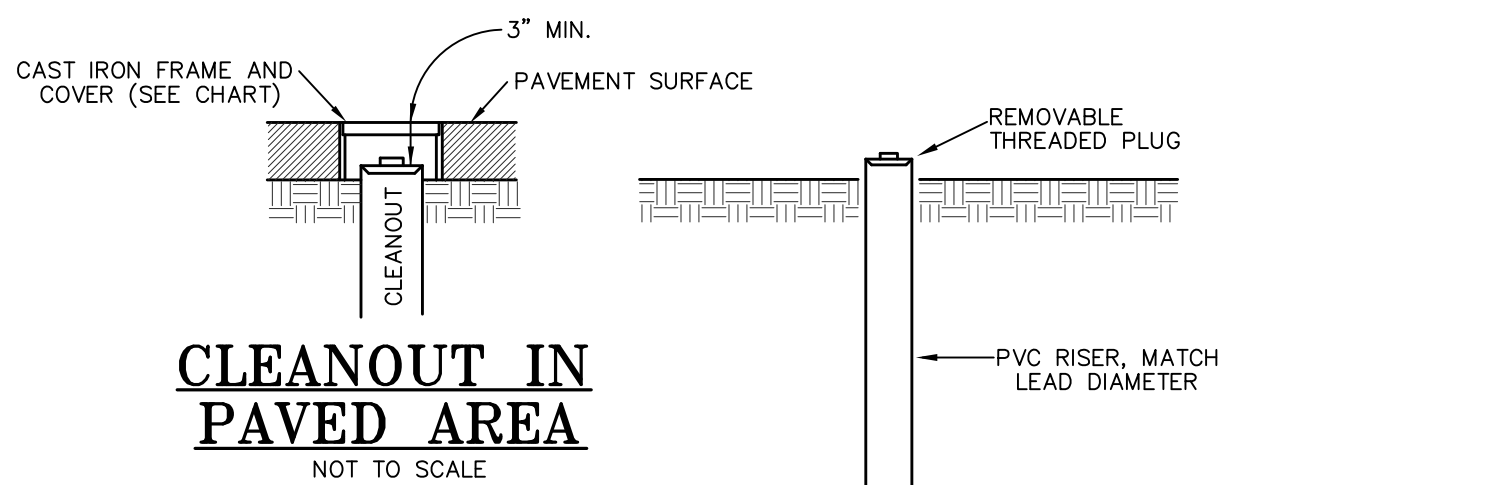
CLIENT:	SCALE: AS NOTED
ALDI Inc.	PROJECT No.: 173289
STOCKBRIDGE ROAD	DWG NAME: 3289 DT
VILLAGE, MICHIGAN 48892	ISSUED: APRIL 6, 2018
(517) 521-3907	

DT2



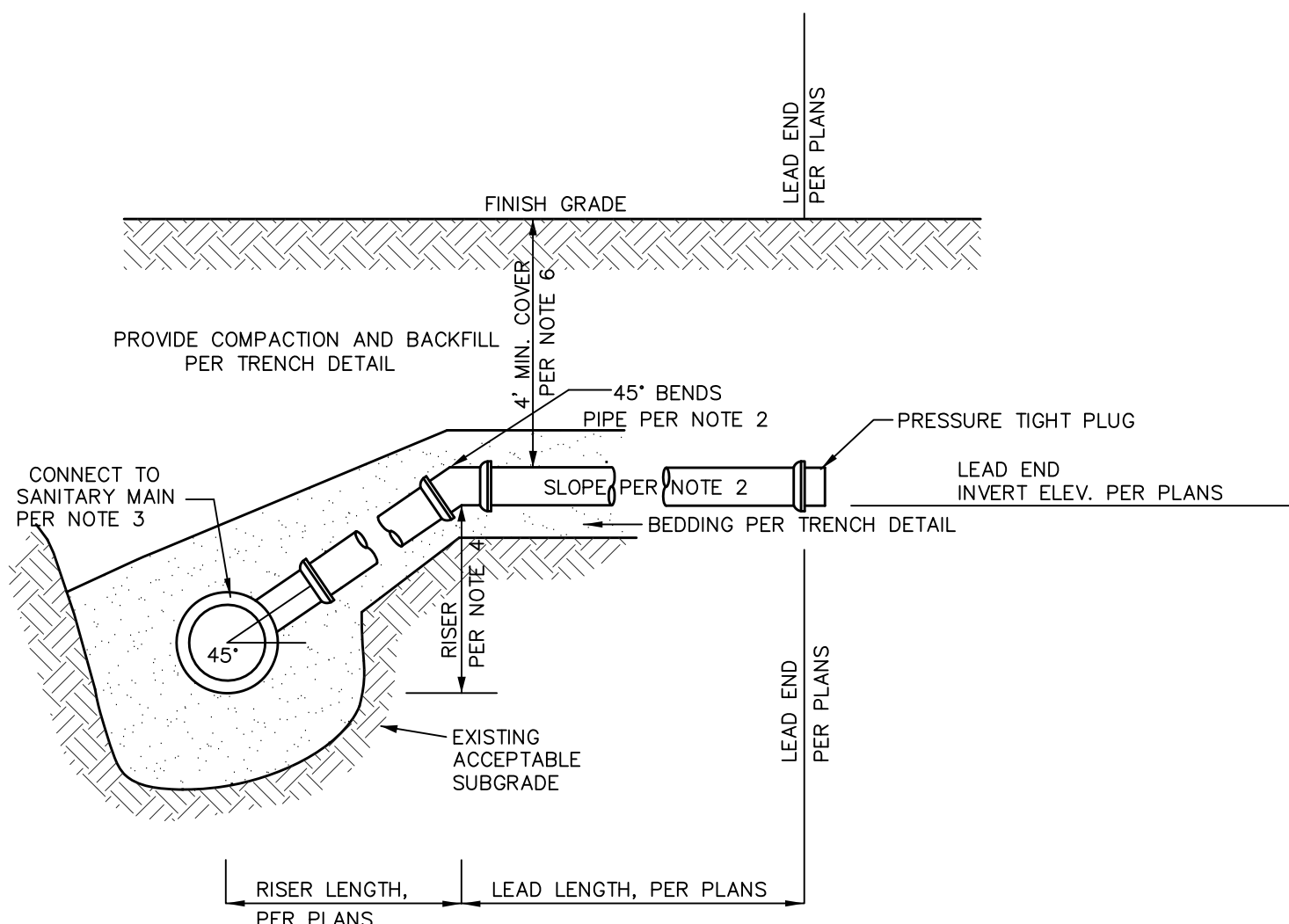
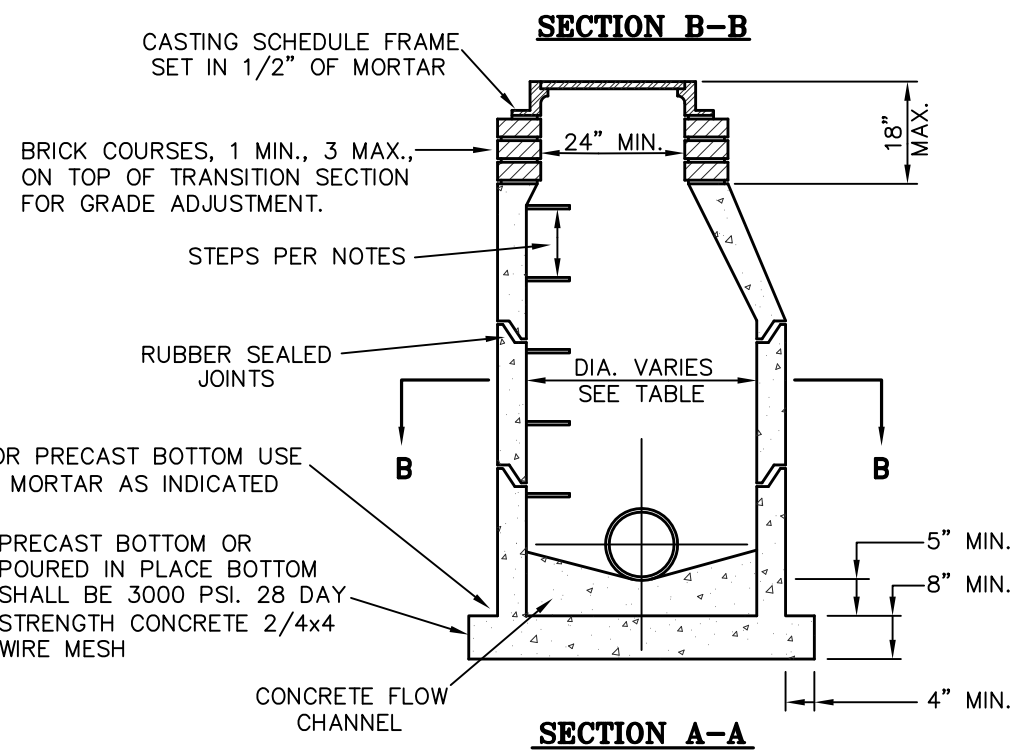
CLEANOUT DIA.	FRAME AND COVER
4"-8"	EJW 1578
10"-18"	EJW 1040Z-A-SANITARY

CLEANOUT DIA.	FRAME AND COVER
4"-8"	EJW 1578
10"-18"	EJW 1040Z-A-SANITARY



- PRE-CAST CONCRETE MANHOLE
- SECTIONS SHALL MEET ASTM C478.
  - ALL JOINTS MADE WATERTIGHT WITH RUBBER GASKET JOINTS.
  - CONE TO BE ECCENTRIC TYPE.

PIPE SIZE	MANHOLE DIA.
12"-24"	4'-0" MIN.
30"-36"	5'-0" MIN.
42"-48"	6'-0" MIN.



## SANITARY LEAD FOR SEWER SERVICE

### GRAVITY SANITARY SEWER LEAD NOTES:

- The Local Plumbing Code and sanitary sewer specifications of the Local Municipality with authority over the sanitary sewer are a part of this work. Refer to the General Notes and Gravity Sanitary Sewer Notes on the Project Plans for additional requirements.
- Sanitary Sewer Leads shall be Polyvinyl Chloride Schedule 40 PVC pipe with solvent welded joints conforming to ASTM D3034 or Extra Strength Solid Wall SDR 23.5 PVC pipe conforming to ASTM D-1788. Solvent welded joints shall conform to ASTM D2855. Provide pipe diameter and slope per project plans. When proposed lead information is not noted on the project plans; provide 6" minimum diameter at 1.0% minimum slope. Sewer lead fittings shall be of the same material as the pipe, unless approved otherwise by the Township Engineer.
- Connect sanitary sewer leads to the sanitary main in the locations shown on the Project Plans. Install a wye fitting rotated upward at 45 degrees to the sanitary main as shown in the sanitary lead detail. Install wye fittings so that the wye branches out away from the sanitary main opposite of the direction of flow. Provide a 35/40 adapter between an SDR 35 wye and SCH 40 PVC pipe. The SDR joint shall be a slip joint type.
- Install a 45-degree riser at the connection to the sanitary sewer main per the project plans or as the site conditions allow. The invert elevation at the 45 degree bend located at the end of the riser shall be 6" minimum above the sanitary sewer main invert.
- Contractor shall field locate all existing utilities prior to work. Contractor shall provide all bends and fittings as needed, incidental to work, to install the sanitary sewer leads and to provide the required clearance between the sanitary sewer leads and all existing and proposed utilities while maintaining the proposed minimum pipe slope and proposed lead end invert elevation. Contractor shall notify the Engineer immediately of any utility crossing conflicts.
- Provide 4.0' minimum cover from the top of the sanitary sewer lead pipe to the proposed finished grade when site conditions allow. When pipe cover is less than 4.0', install 2" thick by 24" wide Styrofoam insulation centered over pipe at 12" above top of pipe or as required by Local Code.
- For vacant property or when connection of the sanitary sewer lead to a building is not to be performed as a part of the project, install a water tight and pressure tight plug and restrained joints as needed to allow for pressure testing of the sanitary sewer. Mark the lead end with a 12' long treated wooden post extending a minimum of 18" above proposed finish grade. When connection of the sanitary lead to a building is to be performed as part of the project install a temporary, water tight and pressure tight plug in the end of the lead to allow for pressure testing and mark the lead end with a 2" x 4" wooden stake extending a minimum of 12" above proposed finish grade, incidental to work.

### GRAVITY SANITARY SEWER NOTES:

- The sanitary sewer specifications of the Local Municipality with authority over the sanitary sewer are a part of this work. Refer to the General Notes on the project plans for additional requirements.
- Sanitary sewer work shall include excavation of pipe trench, placement of pipe bedding, placement of pipe and structures including castings, connection to existing structures, tuck pointing of structures, backfill of pipe trench, compaction of backfill, adjustment of castings to match finish grade, testing of sanitary sewer, site cleanup and other sanitary sewer work as shown on the project plans and specifications.
- Existing and proposed grades shown in profile view on the project plans may be in relation to the centerline of road or item other than the centerline of pipe. The pipe lengths and grades shown in profile view on the project plans may not be to scale.
- Sanitary sewer pipe of 15" diameter or smaller shall be PVC polyvinyl chloride gravity pipe and shall conform to the specifications for polyvinyl chloride gravity pipe per ASTM D3034. The minimum wall thickness shall conform to SDR 35. PVC pipe joints shall be push on bell-and-spigot type joints conforming to ASTM D3212 with factory installed flexible elastomeric gaskets conforming to ASTM F477. Solvent cemented joints shall only be used when noted on the project plans for specific applications and shall conform to ASTM D2855. Tamp backfill at the spring line of PVC pipe. Saw cut pipes to length for connection to structures and fittings as needed.
- Sanitary structures shall be pre-cast reinforced concrete and shall conform to the specifications for pre-cast reinforced concrete structures per ASTM C478. Sanitary structures shall be 4 foot diameter unless noted otherwise on the Project Plans. Sanitary structure joints shall be Modified Groove Tongue (MGT) type joints with a compression type rubber gasket snapped into a groove cast into the tongue. Rubber gaskets shall conform to ASTM C433. Pipe openings in pre-cast structures shall be water tight factory installed rubber boot water stop connectors. Water stops shall be Kor-N-Seal (National Pollution Control Systems), Press Wedge II (Press-Seal Gasket Corporation), Res-Seal (Scales Manufacturing Corporation) or equal. Sewer pipe shall be clamped to the rubber boot water stop with stainless steel clamps and hardware in accordance with the manufacturer's specifications. All temporary openings in sanitary structures shall be pointed up watertight with cement mortar.
- All sanitary sewer manholes shall be waterproofed on either the interior or exterior of the structure. Exterior water proofing material shall be a heavy fibered type waterproofing mastic conforming to Federal Specification SS-C-153 Type 1 or CS-206. The mastic shall be A.C. Horn (Grace), Flink Kote 710-23 or equal.

- Manhole step shall be steel reinforced plastic. Steps shall not be aligned over the pipe. Plastic steps shall be polypropylene plastic, steel reinforced, 14" minimum width, M.A. Industries, Inc #PS2 or equal.

- Provide sanitary structure castings as noted on the project plans. When casting type is not noted on the project plans, provide East Jordan 1040 or Neenah R-1916 F1 with solid self sealing cover or equivalent OR as directed by the Municipality. Covers shall be bolt down type with stainless steel hardware. Sanitary structure castings shall be coated with water based asphaltic paint by the manufacturer. Final casting grade adjustments shall be made with pre-cast reinforced concrete grade rings sealed with rubber "O" ring gaskets or brick and mortar pointed up and sealed water tight with cement mortar. Castings shall be secured to the pre-cast structure with a minimum of four (4) 5/8" diameter cadmium coated bolts or threaded studs with neoprene flat washers and cadmium coated nuts.

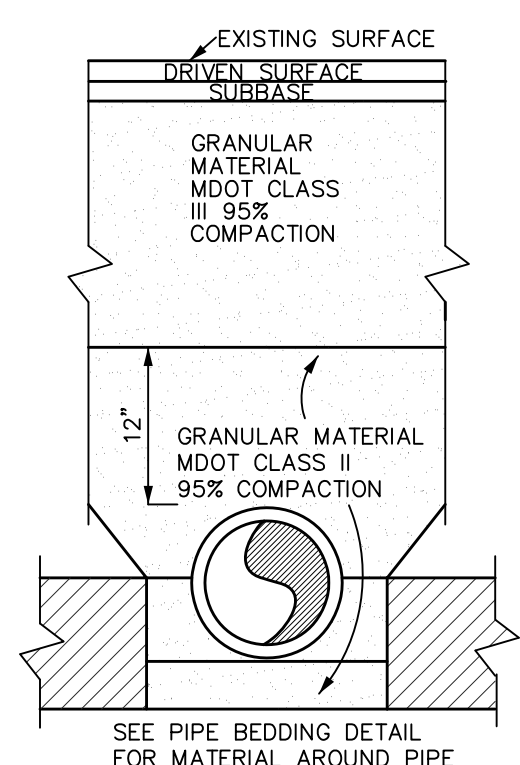
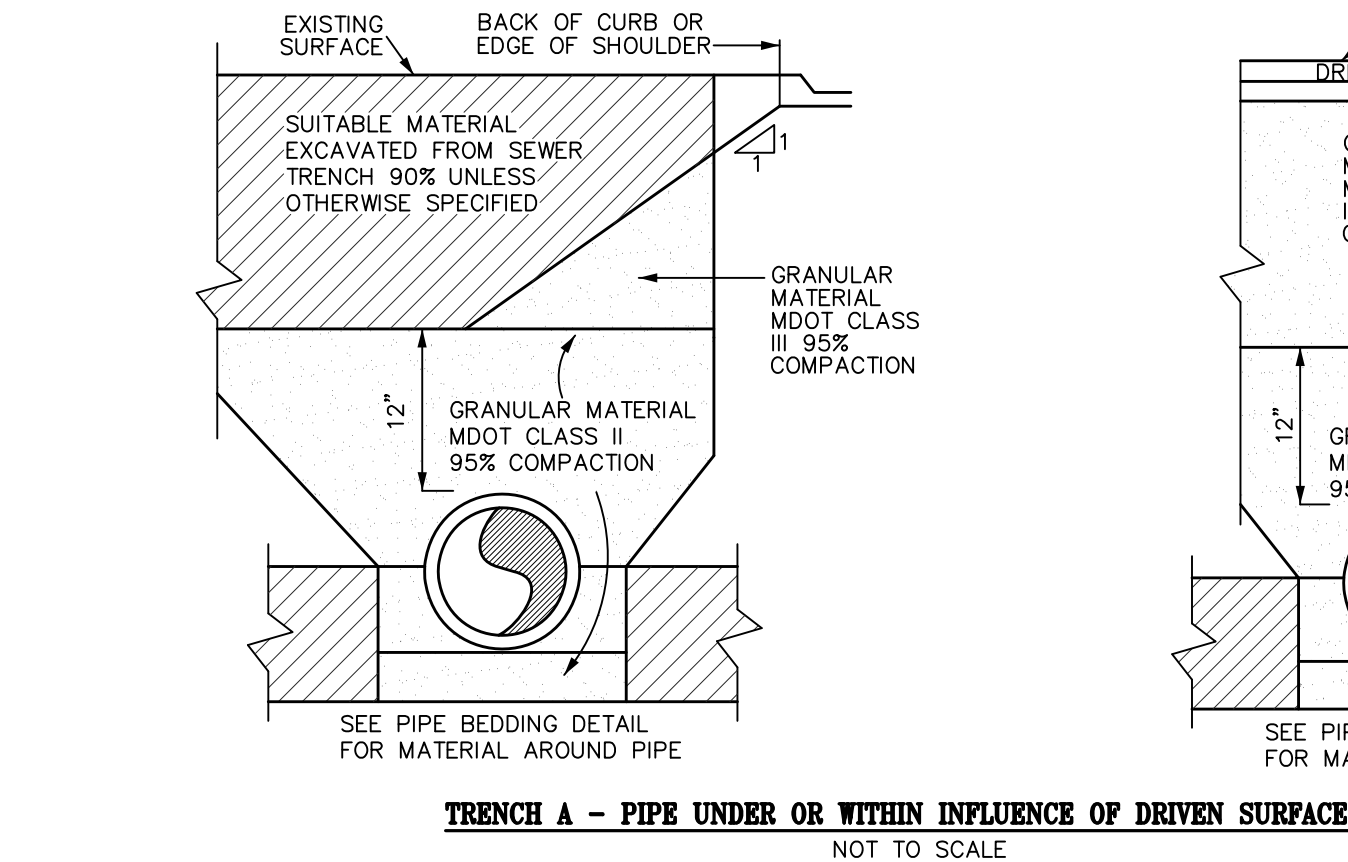
- Connections to existing manholes shall be performed by core drilling the manhole wall and installing a resilient boot. Star drilling the opening shall ONLY be performed when core drilling is not possible. Provide a smooth hand-troweled mortared finish in the star drilled opening for installation of a resilient boot.

- Backfill all sanitary sewer in accordance with the Pipe Trench details provided on the project plans. Provide pipe bedding that meets or exceeds both the specifications of the Pipe Trench details on the project plans and the recommendation of the pipe manufacturer, incidental to work.

- Install removable plugs in sanitary sewer stubs as acceptable to Engineer and Municipality, incidental to work. Mark the end of all sanitary sewer stubs with a 12' long treated wooden post extending a minimum of 18" above finish grade, incidental to work.

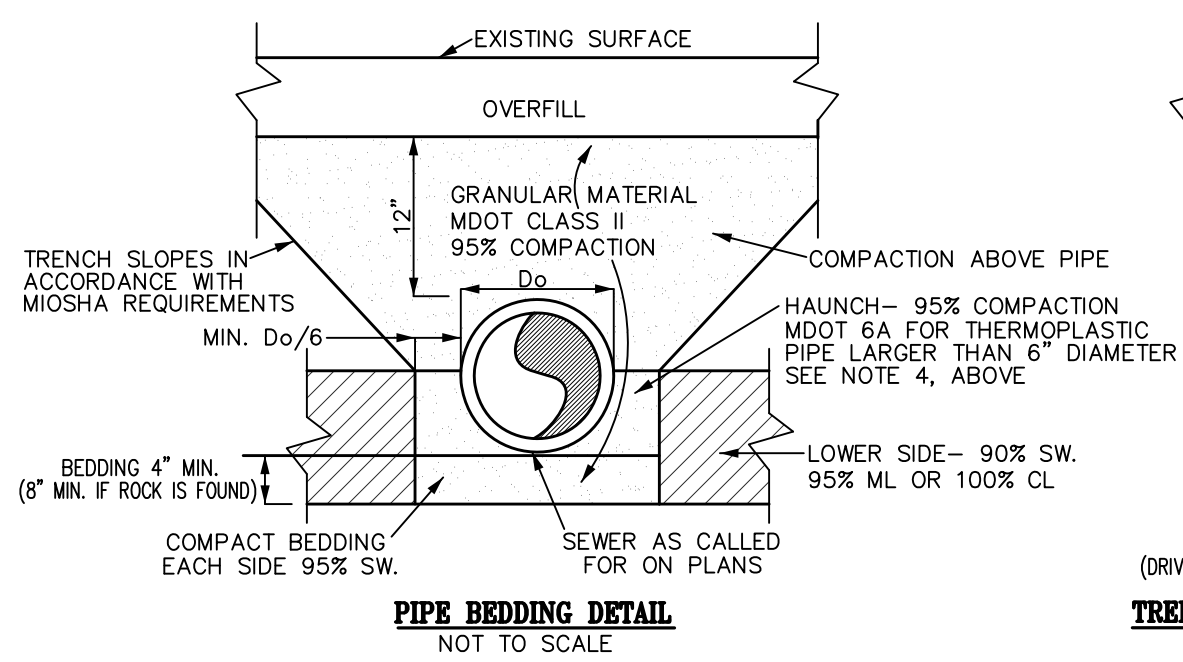
- Install sanitary sewer service leads in accordance with the project plans. Detailed graphic representation of the sanitary lead connection to the sanitary main may not be shown in the plan and/or profile views. Contractor shall provide the necessary fittings for connection of the sanitary lead to the sanitary main in accordance with the Municipality and the Project Plans, incidental to work. See the Gravity Sanitary Sewer Service Lead Notes and Details on the project plans for additional requirements.

- Contractor shall provide testing of the sanitary sewer in accordance with the Local Municipality requirements.

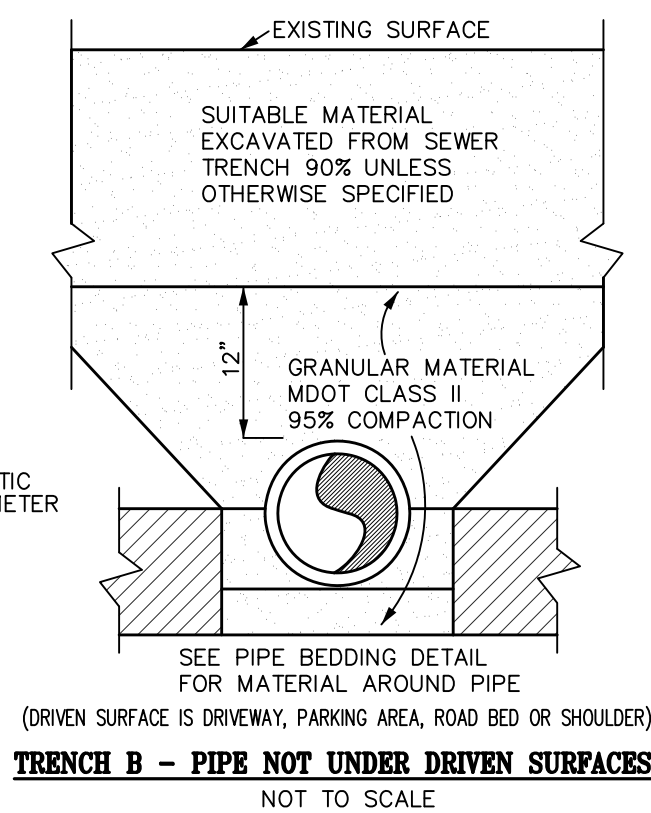


### NOTES:

- COMPACTION PRESENTED AS STANDARD PROCTOR VALUES.
- SOIL TYPES: AASHTO DESIG. GRAVEL SANDY (SW) A1, A3 SANDY SILTY (ML) A2, A4 SILTY CLAY (CL) A5, A6, A7
- SOIL IN HAUNCH AND LOWER SIDE ZONES OUTSIDE OF D<sub>o</sub>/6 FROM SPRING LINE SHALL BE COMPACTED TO AT LEAST THE SAME COMPACTION AS THE SOIL IN THE OVERFILL ZONE.
- MATERIALS AROUND THERMO. PLASTIC PIPE WITH DIAMETER 6 INCHES SHALL PASS 0.5 INCH SIEVE. MATERIALS AROUND OTHER PIPES SHALL PASS 1.5 INCH SIEVE.



## TRENCH DETAILS



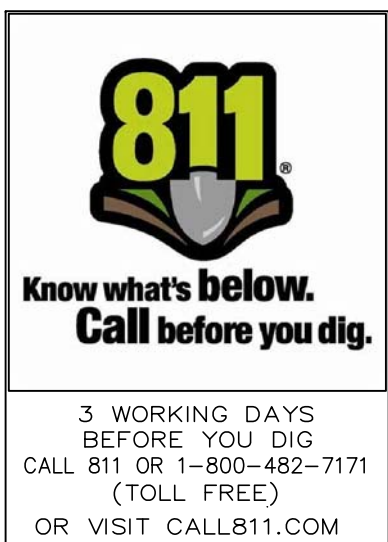
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DRAFT: SES						
CHECK: CAG						

ALDI FOOD MARKET #53  
MT. PLEASANT, MI

SANITARY SEWER  
NOTES & DETAILS

CLIENT:	SCALE: AS NOTED
ALDI Inc.	PROJECT No.: 173289
2625 N. STOCKBRIDGE ROAD	DWG NAME: 3289 DT
WEBBERVILLE, MICHIGAN 48892	ISSUED: APRIL 6, 2018
(517) 521-3907	

DT3





(SEE NOTE 1)



(SEE NOTE 1)



NOT TO SCALE

- 
- STANDARD FRAME AND COVER PER SCHEDULE
- 4" DIA. PVC DRAIN TILE-FILL TRENCH WITH 3/8" PEA STONE
- 2'-0"
- INV. ELEV. AS CALLED FOR ON THE PLANS
- CEMENT BLOCK OR PRECAST CONC.
- 2' SLUMP
- MIN. REINF. NO. 3 GA., 6"X6" MESH OR EQUIVALENT AREA
- PRECAST 3500 P.S.I. CONC. BASE
- 4'-0" DIA.
- POROUS BACKFILL CUSHION
- 6"
- 4"

NOT TO SCALE



NOT TO SCALE



NOT FOR USE IN WEST ROAD OR ALLEN ROAD RIGHT OF WAY



NOT FOR USE AT BUILDING ENTRANCE

7. Pavement Underdrain Details provided on this sheet are not for use at the main building entrance. See the Perforated Underdrain Detail on the Project Plans for building entrance underdrain specifications.

16. Provide 3.5' minimum cover from the top of pipe of all roof drain pipes to the proposed finish grade when site conditions allow. When pipe cover is less than 3.5', install 2" thick by 24" wide Styrofoam insulation centered over the top of pipe at 12" above top of pipe or as required by the Local Municipality.



ALDI FOOD MARKET #53  
MT. PLEASANT, MI

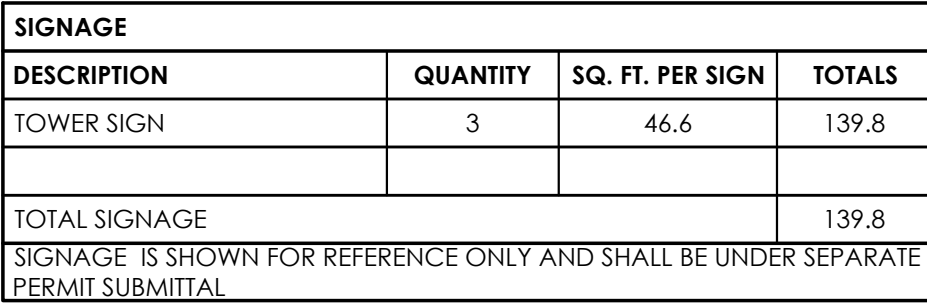
# STORM SEWER NOTES & DETAILS

DT4









<b>Issued:</b>	<b>Date:</b>
<b>A</b> Issued for Client Review	01/11/18
<b>B</b> Issued for Client Review	02/01/18
<b>C</b> Issued for Permit	03/09/18
<b>D</b> Issued for Bid	03/26/18
<b>E</b> Issued for Site Plan Review	03/30/18
<b>Revisions:</b>	<b>Date:</b>
1	
2	
3	
4	
5	
6	
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8	
9	



seal	seal
PROJECT ARCHITECT/ENGINEER	DATE

PROJECT LEAD	DATE
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PROJECT DESIGNER	DATE
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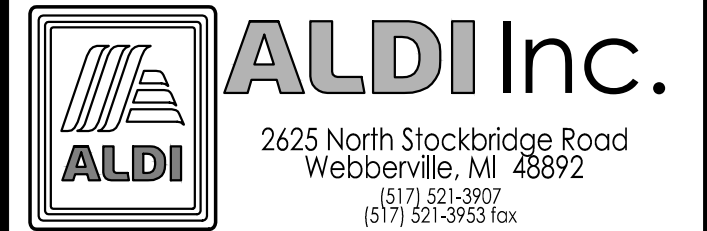
**Drawing Alteration**

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